

NEW "SHELL" RETAIL DEVELOPMENT BUILDING GWINNETT COUNTY LAWRENCEVILLE, GA.

CONSTRUCTION NOTES:

(SWING AND FORCE) TO OPEN DOORS SHALL MEET THE REQUIREMENTS OF NFPA 101 LIFE SAFETY CODE 2000 EDITION CHAPTER 5-214

(DOOR/HARDWARE) HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING TO OPERATE LEVEL-OPERATING MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS CONFORM TO RULE 120-3-20-24 (9) OF GEORGIA ACCESSIBILITY CODE, 1998 EDITION

(PANIC HARDWARE) SHALL BE PROVIDED FOR ALL EXIT DOORS PER THE REQUIREMENTS OF NFPA 101 LIFE SAFETY CODE, CHAPTER 7, SEC 7217 2000 EDITION CHAPTER 5-214

(EXIT DOORS) SHALL NOT BE SUBJECT TO THE USE OF A KEY OR REQUIRE SPECIAL KNOWLEDGE TO OPERATE PER NFPA NFPA 101 LIFE SAFETY CODE 1997 EDITION CHAPTER 5-2151

(MINIMUM MANEUVERING CLEARANCES) ON PULL SIDE OF DOOR SHALL BE A MINIMUM OF 18 INCHES ON PUSH SIDE OF DOOR SHALL BE A MINIMUM OF 12 INCHES CONFORM TO RULE 120-3-20-24 (6) OF GEORGIA ACCESSIBILITY CODE

(COMBUSTIBLE INTERIOR FINISH PRODUCTS) SHALL BE PROVIDED PER THE REQUIREMENTS OF THE RESPECTIVE OCCUPANCY CHAPTER OF THE NFPA 101 LIFE SAFETY CODE 2000 EDITION PROVIDE VERIFICATION THAT THE PRODUCTS COMPLY WITH THE REQUIREMENTS

HANDRAILS ON BOTH SIDES OF ALL STAIRS ARE REQUIRED AND SHALL BE SET AT 34" TO 38" ABOVE THE FRONT EDGE OF THE STAIRS, PER NFPA 101 LIFE SAFETY CODE, CHAPTER 7, SEC 72245, 2000 EDITION & GEORGIA ACCESSIBILITY CODE CHAPTER 120-3-20-20

BEAMS OR COLUMNS THAT ARE PART OF A FIRE RATED WALL OR CEILING ASSEMBLY SHALL BE PROTECTED TO ACHIEVE THE FIRE RATING OF THE WALL OR CEILING ASSEMBLY BEAMS /COLUMNS

FIRE BARRIERS SHALL BE CONTINUOUS FROM OUTSIDE WALL TO OUTSIDE WALL FROM FIRE BARRIER TO FIRE BARRIER, OR A COMBINATION THEREOF, INCLUDING CONTINUITY THROUGH ALL CONCEALED SPACES SUCH AS THOSE FOUND ABOVE A CEILING INCLUDING INTERSTITIAL SPACES, PROVIDE JOINT DETAIL FOR TOP OF WALL AT FLOOR/CEILING OR ROOF DECK PER NFPA 101 LIFE SAFETY CODE, CHAPTER 8, SECTION 82311, 2000 EDITION

1995 -GWINNETT COUNTY ORDINANCE FOR FIRE PROTECTION & LIFE SAFETY, THE CURRENT EDITION OF THE NFPA CODES & STANDARDS AS ADOPTED & MODIFIED BY THE STATE FIRE MARSHAL, NFPA 101 LIFE SAFETY CODE 2000 EDITION, INTERNATIONAL FIRE CODE 2003 EDITION, OCGA TITLE 25 & 30 GEORGIA ACCESSIBILITY CODE

CONTACT THE GWINNETT COUNTY FIRE MARSHAL'S (INSPECTION REQUEST LINE) AT (678) 518-6102 FOR INSPECTION AT 50%, 80% AND 100% COMPLETION NOTE (50%) INSPECTION OF FLOOR CEILING PENETRATIONS, (80%) INSPECTION OF ANY FIRE RATED BARRIERS, FLOOR OR CEILING (100%) FINAL INSPECTION ALL SYSTEMS, EQUIPMENT INSTALLED & OPERATING, READY FOR OCCUPANCY THE INSPECTION REQUEST MUST BE PHONED IN BEFORE 2:00PM THE DAY/PRIOR TO THE DATE THE INSPECTION IS NEEDED THERE IS A NEW NUMBER FOR THE INSPECTION REQUEST LINE

CODE REFERENCES:

ALL BUILDINGS DESCRIBED IN THESE PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE GWINNETT COUNTY CONSTRUCTION CODE (HEREIN NOTED AS "GCC") AS ADOPTED AND INCLUDES REVISIONS, AMENDMENTS AND APPENDICES TO THE FOLLOWING LISTED CODES

SBCI STANDARD BUILDING CODE (INTERNATIONAL BUILDING CODE) - 2000 EDITION WITH 2002, 2003 & 2006 GEORGIA AMENDMENTS

SBCI STANDARD MECHANICAL CODE (INTERNATIONAL MECHANICAL CODE) - 2000 EDITION WITH 2001 & 2006 GEORGIA AMENDMENTS

SBCI STANDARD GAS CODE (INTERNATIONAL FUEL GAS CODE) - 2000 EDITION WITH 2001, 2002, & 2006 GEORGIA AMENDMENTS

SBCI STANDARD PLUMBING CODE (INTERNATIONAL PLUMBING CODE - 2000 EDITION WITH 2001, 2002, 2003 & 2006 GEORGIA AMENDMENTS

NFPA NATIONAL ELECTRICAL CODE - 2002 EDITION WITH 2003 GEORGIA AMENDMENTS

INTERNATIONAL ENERGY CONSERVATION CODE - 2000 EDITION WITH 2003 GEORGIA SUPPLEMENTS AND AMENDMENTS

STANDARD SWIMMING POOL CODE - 1994 EDITION WITH 2000 GEORGIA AMENDMENTS

CBO 1 & 2 FAMILY DWELLING CODE (INTERNATIONAL RESIDENTIAL CODE) - 2000 EDITION WITH 2002, 2003 & 2006 GEORGIA AMENDMENTS

GEORGIA EROSION AND SEDIMENTATION ACT OF 1975, THIRD EDITION, 1992

NOTES:

NOTIFY CITY OF LAWRENCEVILLE INSPECTIONS 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION (770)-822-7640

NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED

NO DRIVE-UP WINDOWS ARE TO BE INSTALLED

HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.

ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE

NO OUTSIDE STORAGE PROPOSED THIS INCLUDES SUPPLIES, EQUIPMENT, VEHICLES, PRODUCTS, ETC

SIGNS, LOCATION, NUMBER, AND SIZE ARE NOT APPROVED UNDER THIS BUILDING PERMIT A SEPARATE PERMIT IS REQUIRED FOR EACH SIGN

ALL CONSTRUCTION TO COMPLY WITH CITY OF LAWRENCEVILLE STANDARDS

NO BILLBOARDS ARE PERMITTED

EACH CONSTRUCTION OFFICE TRAILER REQUIRES A SEPARATE BUILDING PERMIT WHICH SHALL BE PURCHASED DIRECTLY FROM BUILDING PERMITS SECTION

STORAGE RACKING & SHELVING SYSTEMS SHALL BE PERMITTED SEPARATELY CONTACT BUILDING PLAN REVIEW AT (678) 518-6040

NOTICE
THE PROJECT DESIGNER-OF-RECORD SHALL BE RESPONSIBLE FOR COMPLIANCE WITH COPYRIGHT LAW SUCH THAT ALL DATA REPRODUCED ON THE CONSTRUCTION DOCUMENTS FROM COPYRIGHT-PROTECTED MATERIAL SHALL REFERENCE EACH CORRESPONDING PUBLICATION, THE PUBLISHER, THE EDITION YEAR, AND STATE THAT MATERIAL IS REPRINTED WITH PERMISSION FROM THE PUBLISHER.

PROJECT CRITERIA:

PROJECT NAME CLAYTON COMMERCE CENTER
PROJECT ADDRESS --- CLAYTON STREET
CLASSIFICATION BUSINESS
TYPE OF CONSTRUCTION VB
SPRINKLERED (YES OR NO) YES
FIRE ALARM YES (SUBMITTAL BY OWNER'S VENDOR)
CALCULATED LOAD FOR OCCUPANCY TO BE DETERMINED ON INT FIN
21,000 SF / 100 SF/PERSON = 210 MAX
BUILDING AREA
FLOOR AREA 3 FLOORS @7,000 SQ FT = 21,000 SF
BUILDING HEIGHT
HEIGHT ALLOWED PER SBC FT 45'
HEIGHT ALLOWED PER GC ORD FT 35'
DESIGN LOADS
MINIMUM LIVE LOADS (PSI) FLOOR 50
MINIMUM LIVE LOADS (PSI) ROOF 20

OWNER: DEVELOPMENT PROFESSIONAL EQUITIES, INC.
190 COMDEN HILL ROAD
SUITE C
LAWRENCEVILLE, GA. 30045
P (770) 339-2522
F (770) 339-1514
E-MAIL: davewhitten@proequitiesinc.com

ARCHITECT: JOHN HEARD ASSOCIATES, INC.
1430 EUGENIA TERR
LAWRENCEVILLE, GEORGIA 30045
CONTACT: JOHN HEARD
C (770) 845-5555
F (770) 963-0188
E-MAIL: bilybr@aol.com

ENGINEERING: WELLBORN TECHNICAL
5238 HAWKINS ACADEMY RD.
SOCIAL CIRCLE, GA. 30025
P (770) 464-3668
F (770) 464-3668
E-MAIL: bilybr@aol.com

STRUCTURAL: SOPAN CHAUDHARI P.E.
5875 HERITAGE LANE
STONE MOUNTAIN, GA. 30087
P (770) 921-0112
F (770) 921-5104
E-MAIL: SOPAN@BELLSOUTH.NET

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J Architects, Inc.
John Heard Architects, Inc.
1430 EUGENIA TERR • Lawrenceville Georgia 30045 • 770.845.5555



CLAYTON COMMERCE CENTER
41 CLAYTON STREET
LAWRENCEVILLE, GEORGIA 30045

DATE 02.01.07	DRAWN BRW	CHECKED JWH	
SCALE AS SHOWN			
SHEET TITLE TITLE SHEET, NOTES, PROJECT CRITERIA, INDEX OF DRAWINGS			
PROJECT NUMBER 06029			
T-1			
DRAWING NUMBER			

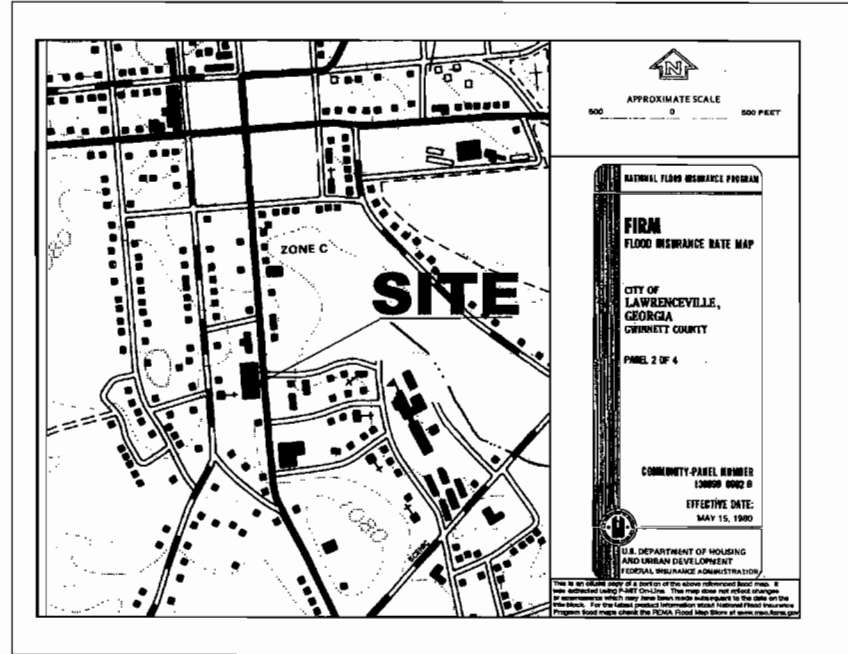
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CLAYTON BUSINESS CENTER CONSTRUCTION PLANS 41 CLAYTON STREET, LAWRENCEVILLE

PROJECT NOTES

1. THE EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON SURVEY BY BOUNDARY ZONE, INC. DATED 09/15/2006.
2. ALL CONSTRUCTION SHALL CONFORM TO ALL CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF LAWRENCEVILLE AND APPLICABLE GWINNETT COUNTY AS WELL AS GEORGIA DEPARTMENT OF TRANSPORTATION (GDOT).
3. THE CONTRACTOR IS TO VERIFY ALL LOCATIONS AND/OR TYPES OF UTILITIES IN THE FIELD BEFORE CONSTRUCTION BEGINS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR PER OWNERS SPECIFICATIONS. SUCH DAMAGE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
4. ALL CONSTRUCTION OF UTILITIES TO BE SCHEDULED AND APPROVED BY THE OWNER PRIOR TO ANY DISRUPTION OF SERVICES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL AND ALL REASONABLE MEASURES SHALL BE TAKEN TO PROTECT DOWNSTREAM AND OFF-SITE LAND FROM EROSION AND SEDIMENT DAMAGE DUE TO GRADING OPERATIONS.
6. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING OR OTHER LAND DISTURBANCE ACTIVITY AND SHALL BE MAINTAINED IN ACCORDANCE TO THE MANUAL OF EROSION AND SEDIMENT CONTROL IN GEORGIA.
7. WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE SHORING OR OTHER APPROVED METHOD IN ORDER TO MAKE THE WORK AREA STABLE AND SAFE.
8. THE CONTRACTOR SHALL PROVIDE SAFE ENTRY ACCESS TO AND FROM THE BUILDING SITE TO ALL CUSTOMERS AND EMPLOYEES, INCLUDING HANDICAP PERSONS. ANY TEMPORARY RAMPS SHALL BE CONSTRUCTED PER ADA STANDARDS.
9. ALL WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ACCESS FOR ALL EMERGENCY VEHICLES AT ALL TIMES.
11. TOPS OF ALL EXISTING STRUCTURES THAT ARE TO REMAIN WITHIN THE AREA REQUIRING RE-GRAING SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET NEW GRADES. PRIOR TO ANY ADJUSTMENT THE CONTRACTOR IS TO COORDINATE SUCH WORK WITH THE OWNER OR APPROPRIATE UTILITY ENTITY.
12. ALL SURFACE AREAS TO HAVE POSITIVE DRAINAGE AT THE CONCLUSION OF THE CONTRACT.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK. MATERIALS SHALL BE REMOVED FROM THE SITE AS SOON AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE. CONTRACTOR SHALL BE RESPONSIBLE FOR HAULING OFF AND DISPOSING OF ANY DEBRIS TO AN APPROVED STATE LICENSED FACILITY AS APPROPRIATE.
14. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND INTO STORM STRUCTURES.
15. CONTRACTOR TO MAINTAIN ALL STORM DRAINAGE STRUCTURES DURING THE COURSE OF CONSTRUCTION.
16. THE CONTRACTOR IS TO VERIFY ALL LOCATIONS AND/OR TYPES OF UTILITIES NEAR THE PROJECT LIMITS BEFORE CONSTRUCTION BEGINS. ANY DAMAGE CAUSED BY THE CONTRACTOR'S PERSONNEL OR EQUIPMENT TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR TO OWNERS SPECIFICATIONS. SUCH DAMAGE SHALL BE THE CONTRACTORS EXPENSE TO PAY FOR ALL MATERIALS, LABOR AND NECESSARY PERMITS.
17. CONTRACTOR SHALL ACQUIRE ALL PERMITS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT.

ADDITIONAL NOTES:
THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING, HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, POLICIES, STANDARDS OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.



ALL EROSION AND SEDIMENTATION CONTROLS, AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING.

ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.

DETENTION FACILITY MUST BE FULLY OPERATIONAL PRIOR TO ANY IMPERVIOUS SURFACE INSTALLATION.

NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL AN ELECTRONIC COPY OF THE AS-BUILT SURVEY HAS BEEN SUBMITTED AND APPROVED.

PROJECT LOCATION:
41 CLAYTON STREET
LAWRENCEVILLE,
GWINNETT COUNTY, GEORGIA

NEAREST INTERSECTION:
CLAYTON STREET AND
BRANSONS STREET

TOTAL ACREAGE: 0.904 ACRES

DISTURBED ACREAGE: 0.45 ACRES

OWNER/DEVELOPER:
PROFESSIONAL EQUITIES, INC.

190 CAMDEN HILL ROAD
Lawrenceville, GA 30045
24 HOUR CONTACT DAVID WHITTEN
(770) 339-7522

ZONING = B2- BGC-CENTRAL GENERAL
BUSINESS

WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING:
1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED; AND
2) THE APPROPRIATE PLAN SHEET [] DOES / [X] DOES NOT INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS; AND,
3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED.

CONSTRUCTION SCHEDULE	1ST MONTH	2ND MONTH	3RD MONTH	4TH MONTH
INSTALL EROSION & SEDIMENT CONTROLS & MEASURES	X			
UTILITY CONSTRUCTION (GRADING, GRUBBING)	X	X	X	X
PERMANENT & TEMPORARY VEGETATION (GRASSING)		X	X	X
UTILITY TRENCH REPAIR		X	X	X
MAINTAIN EROSION AND SEDIMENTATION CONTROLS	X	X	X	X
FINAL LANDSCAPING, GRASSING, CLEANING OF STORMWATER MANAGEMENT SYSTEM			X	X
DISPOSITION OF TEMP. SEDIMENT CONTROL MEASURES			X	X
FINAL CLEAN UP			X	X

LAND DISTURBANCE TO BE LIMITED TO THOSE AREAS NEEDED FOR STREETS, DRAINAGE, AND UTILITIES.

NOTIFY CITY OF LAWRENCEVILLE INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION. (770) 963-2414.

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- C6 UTILITY PLAN
- C7 PROFILES
- C8 DETAILS
- C9 DETAILS
- C10 GDOT PLANS

THE EXISTING UTILITIES SHOWN ON THIS PLAN WERE OBTAINED FROM VARIOUS UTILITY COMPANIES, WHOSE GOVERNMENTAL AGENCIES, AND ABOVE-GROUND CONSTRUCTION. THE SURVEYOR AND/OR ENGINEER MAKE NO CLAIM TO THE COMPLETENESS OF THIS INFORMATION. THE SIZE, LOCATION, OR ADDITIONAL UTILITIES MAY BE DISCOVERED UPON EXCAVATION. PRIOR TO BEGINNING ANY CIVIL DISTURBANCE ACTIVITIES, THE UTILITY PROTECTION SERVICE FOR THIS AREA MUST BE NOTIFIED.

IF YOU DIG GEORGIA...
CALL US FIRST!
UTILITIES PROTECTION CENTER
METRO ATLANTA STATE WIDE
1 (404) 623-4344 1 (800) 282-7411
IT'S THE LAW!

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Revisions:

NO.	DATE	DESCRIPTION

CLAYTON COMMERCE CENTER
41 CLAYTON STREET
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Sheet Title:
CIVIL ENGINEERING
COVER SHEET
NOVEMBER 2, 2006

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