

# WAL\*MART

## GENERAL REMODEL

SMITHFIELD, NORTH CAROLINA  
STORE NO.: 1321

EXISTING SQ FT: 202,424  
DATE: 02/22/07

### GENERAL

C1 COVER SHEET

### ARCHITECTURAL

- A1 OVERALL FLOOR PLAN
- A1.1 SIGNAGE AND ELEVATIONS
- A2 ENLARGED VESTIBULE AND BACK OFFICE PLANS
- A2.1 RESTROOM PLANS
- A3 RESTROOM INTERIOR ELEVATIONS
- A4 RESTROOM SCHEDULES AND DETAILS
- A5 RESTROOM DETAILS
- A6 ENLARGED CUSTOMER SERVICE PLANS, MISCELLANEOUS SCHEDULES AND DETAILS
- A7 PUMP ROOM PLAN, PHOTO LAB PLAN, SCHEDULES AND DETAILS
- PH1 PHARMACY PLANS AND DETAILS
- PH2 PHARMACY DETAILS
- PH3 PHARMACY DETAILS
- TC1 TEMPORARY PHARMACY DETAILS
- GA1 GROCERY FLOOR PLANS NOTES AND DETAILS
- GA2 GROCERY FLOOR PLANS
- GA3 GROCERY DETAILS
- GA4 MISCELLANEOUS GROCERY DETAILS
- GA5 MISCELLANEOUS GROCERY DETAILS
- FS1 FOOD SERVICE PLANS AND DETAILS
- FS2 FOOD SERVICE PLANS AND DETAILS

### STRUCTURAL

- S1 FRAMING PLAN GENERAL NOTES AND DETAILS
- S2 FRAMING PLANS AND DETAILS

### FIRE PROTECTION

- FP1 POINT OF CONNECTION DETAIL
- FP2 OVERALL FIRE SPRINKLER PLAN
- FP2.1 ENLARGED FIRE SPRINKLER PLAN
- FP3 FIRE SPRINKLER DETAILS
- FP4 FIRE PUMP PLAN
- FP4.1 FIRE PUMP DETAILS AND SCHEDULES

### MECHANICAL

- MP1 MECHANICAL AND PLUMBING PLAN
- M1 MECHANICAL PLANS AND DETAILS
- M2 MECHANICAL DETAILS
- M3 MECHANICAL SCHEDULES
- MPH1 PHARMACY MECHANICAL PLANS AND DETAILS
- MPL1 PHOTO LAB PLUMBING PLANS AND DETAILS
- GM1 GROCERY MECHANICAL PLANS AND DETAILS
- GM2 DELI MECHANICAL PLAN, DETAIL AND SCHEDULES
- CA1 CAPTIVE AIRE SHEET
- CA2 CAPTIVE AIRE SHEET
- FSM1 SUBWAY MECHANICAL PLAN
- FSM2 SUBWAY MECHANICAL DETAILS
- P1 PLUMBING PLANS
- P2 PLUMBING PLANS AND DETAILS
- P3 PLUMBING SCHEDULES AND DETAILS

### MECHANICAL CONT.

- P4 PLUMBING SCHEDULES
- GP1 GROCERY PLUMBING PLAN
- GP2 GROCERY PLUMBING PLAN
- FSP1 SUBWAY PLUMBING PLANS AND RISERS
- FSP2 SUBWAY PLUMBING SCHEDULES AND DETAILS
- GR1 GROCERY REFRIGERATION PLAN
- GR2 GROCERY REFRIGERATION PLAN
- GR3 REFRIGERATION DETAILS
- GR4 REFRIGERATION LEGENDS
- GR5 REFRIGERATION LEGENDS

### ELECTRICAL

- E1 ELECTRICAL PLANS
- E1.1 LIGHTING PLANS
- E2 POWER PLANS
- E2.1 POWER PLANS
- E2.2 POWER PLANS
- E2.3 UPS AND ETHERNET PLANS
- E2.4 ENLARGED POWER PLANS
- E3 ELECTRICAL DETAILS
- E3.1 ELECTRICAL DETAILS
- E3.2 ELECTRICAL DETAILS
- E4 ELECTRICAL ONE-LINE DIAGRAMS AND SCHEDULES
- E4.1 ELECTRICAL SCHEDULES
- E1.2 ELECTRICAL SCHEDULES
- EPH1 PHARMACY ELECTRICAL PLANS
- EPL1 PHOTO LAB ELECTRICAL PLANS
- GEM1 ENERGY MANAGEMENT PLANS, DETAILS AND SCHEDULES
- GE1 ENLARGED GROCERY ELECTRICAL PLANS

### ELECTRICAL CONT.

- GE1.1 ENLARGED GROCERY ELECTRICAL PLANS
- GE1.2 GROCERY ELECTRICAL DETAILS AND SCHEDULES
- FSE1 SUBWAY ELECTRICAL PLANS

### GENERAL SCOPE OF WORK

- \* INTERIOR WALLS: CLEAN, PREP, AND PAINT.
- \* EXTERIOR SURFACES: CLEAN, PREP, AND PAINT.
- \* FLOOR TILE: REPAIR AND REPLACE AS NOTED.
- \* GARDEN CENTER: REMODEL/REFURBISH AS NOTED.
- \* FOOD TENANT: RELOCATE AS NOTED.
- \* RESTROOMS: REFURBISH AS NOTED.
- \* DOORS: REPAIR/REPLACE AS NOTED.
- \* PHARMACY: REMODEL AS NOTED.
- \* PHOTO LAB: INSTALL AS NOTED.
- \* VARIOUS OFFICES: REMODEL/REFURBISH AS NOTED.
- \* GROCERY: REMODEL - REPAIR/REPLACE EQUIPMENT AS NOTED.
- \* DELI: EXPAND DELI AND REPLACE DELI HOOD AS NOTED.
- \* DAIRY: EXPAND AS NOTED.
- \* PORTRAIT STUDIO: REFURBISH AS NOTED.
- \* TILE: REFURBISH/REMODEL AS NOTED.
- \* CUSTOMER SERVICE/LAYAWAY: REMODEL AS NOTED.
- \* BAKERY: REFURBISH/REMODEL AS NOTED.
- \* VESTIBULE: INSTALL NEW BOLLARDS AND RELOCATE/REPLACE EAS SYSTEM AS NOTED.
- \* SALES FLOOR: INSTALL NEW FLORAL CASE AND REPLACE PET WALL AS NOTED.

### GENERAL REQUIREMENTS

1. ALL WORK SHALL BE DONE IN A SAFE AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH THE LOCAL AND/OR STATE (IF APPLICABLE) BUILDING CODES, NATIONAL ELECTRIC CODE (NEC), ADA-ADAAGS (ADOPTED HANDICAP ACCESSIBILITY REQUIREMENTS), OSHA AND ALL APPLICABLE CODES, REGULATIONS, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION.
2. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
3. THE EXISTING BUILDING SHALL BE PROTECTED FROM MOISTURE, DUST AND DEBRIS. INSTALL DUST PARTITIONS OR DRAPES AS REQUIRED AND/OR DIRECTED BY THE WAL-MART CONSTRUCTION MANAGER TO KEEP DUST AND MOISTURE FROM THE OPERATING AREAS OF THE STORE.
4. ANY DAMAGE TO WAL-MART PROPERTY, WHICH OCCURS DURING THE PROCESS OF CONSTRUCTION, SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO WAL-MART; THIS INCLUDES ALL MERCHANDISE. CONTRACTOR SHALL PAY WAL-MART THE RETAIL COST FOR ALL DAMAGED MERCHANDISE.
5. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE EXISTING BUILDING SECURITY AT ALL TIMES. THIS INCLUDES KEEPING THE BUILDING SECURE FROM PERSONS, ENVIRONMENTAL ELEMENTS OR HAZARDS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE INTEGRITY OF ALL EXISTING SECURITY SYSTEMS. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE WAL-MART STORE MANAGER PRIOR TO THE MODIFICATION OF ANY EXISTING SECURITY SYSTEM FOR THE OPENING (DEMOLITION) OF ANY EXTERIOR WALL.
6. THE CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF DEBRIS AND IS TO REMOVE ALL TRASH AND DEBRIS FROM THE CONSTRUCTION AREA DAILY. NO FLAMMABLE MATERIALS OR LIQUIDS MAY BE STORED IN THE EXISTING BUILDING OR ANY NEW ADDITION.
7. REMOVE ANY EXISTING ITEMS, SERVICES, FINISHES OR SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION. PROVIDE FURRING FOR CONDUITS AND PIPING, SHOWN OR NOT, AND FINISH OUT FURRING TO MATCH ADJACENT EXISTING FINISHES.
8. REPAIR, RE-ROUTE, AND EXTEND ALL SERVICES, PIPING, CONDUIT OF EXISTING ITEMS AND EQUIPMENT AS REQUIRED DURING THE CONSTRUCTION PROCESS FOR THE COMPLETE INSTALLATION AND OPERATIONS OF NEW EQUIPMENT. THIS INCLUDES ALL ITEMS SHOWN OR NOT SHOWN ON THE DRAWINGS. RESET EXISTING EQUIPMENT OR RELATED ITEMS AS REQUIRED FOR PROPER OPERATION.
9. WHERE EXISTING FINISHES ARE TO REMAIN, CLEAN, REPAIR, PATCH, AND/OR REPAINT AS NECESSARY TO BLEND WITH ADJACENT SURFACES. COORDINATE WITH WAL-MART CONSTRUCTION MANAGER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS TO PROHIBIT DELAYS OF THE CONSTRUCTION SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.
11. THE GENERAL CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE STRUCTURAL ENGINEER/ARCHITECT FOR VERIFICATIONS, RESPONSES AND SUBMISSIONS.
12. DURING ENTIRE CONSTRUCTION PERIOD, PROVIDE ONE U.L. LISTED 2A:20BC DRY CHEMICAL FIRE EXTINGUISHER, OR ONE STANDARD U.L. LISTED 2-1/2 GALLON WATER (E-10) AND ONE U.L. LISTED 10BC CARBON DIOXIDE FIRE EXTINGUISHER MOUNTED TOGETHER IN EACH 3000 SQ. FT. OF WORK AREA OR FRACTION THEREOF (MINIMUM OF TWO AVAILABLE IN ALL CONSTRUCTION AREAS AT ALL TIMES).
13. THE STANDARD WAL-MART PROTOTYPE SPECIFICATIONS FOR REMODEL PROJECTS ARE A PART OF THESE CONSTRUCTION DOCUMENTS AND MUST BE REFERRED TO FOR COMPLETE DOCUMENTATION.
14. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE ITEMS AS DIRECTED BY WAL-MART CONSTRUCTION MANAGER DURING PRE-CONSTRUCTION MEETING.
15. IF MODIFICATION TO SPRINKLER SYSTEM IS REQUIRED THE GENERAL CONTRACTOR SHALL HIRE A LICENSED SPRINKLER CONTRACTOR. CONTRACTOR IS TO SUBMIT SIGNED AND SEALED SPRINKLER DRAWINGS FOR APPROVAL PRIOR TO ANY ALTERATION OF THE AUTOMATIC SPRINKLER SYSTEM. WORK TO BE DONE UNDER SEPARATE PERMIT.

### BUILDING CODE SUMMARY

NAME OF PROJECT: WAL-MART GENERAL REMODEL  
STREET ADDRESS: 1299 NORTH BRIGHTLEAF SMITHFIELD, NORTH CAROLINA 27577  
PROPOSED USE: RETAIL

CODES: INCLUDED BUT NOT LIMITED TO THE LATEST ADOPTED ADDITIONS OF THESE CODES AS AMENDED BY THE CITY OF SMITHFIELD AND THE STATE OF NORTH CAROLINA.

- 2006 BUILDING CODE W/NORTH CAROLINA AMMENDMENTS
- 2006 MECHANICAL CODE W/NORTH CAROLINA AMMENDMENTS
- 2006 FIRE CODE W/NORTH CAROLINA AMMENDMENTS
- 2006 PLUMBING CODE W/NORTH CAROLINA AMMENDMENTS
- 2005 NATIONAL ELECTRICAL CODE

OCCUPANCY: M-MERCANTILE  
B-AUTOMOTIVE

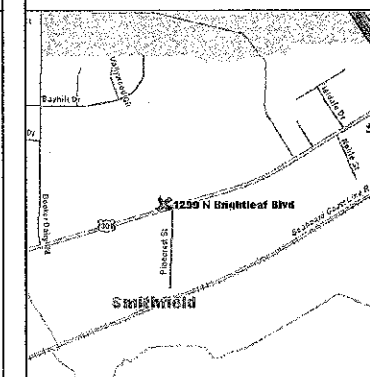
FIRE PROTECTION: FULLY SPRINKLERED

TYPE OF CONSTRUCTION: TYPE IIB (NON-COMBUSTIBLE, UNPROTECTED)

### SITE VERIFICATION REQUIREMENTS

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE SUBMISSION OF HIS BID, ORDERING OF MATERIALS, AND TO THE COMMENCEMENT OF ANY WORK.
2. THESE CONSTRUCTION DOCUMENTS HAVE BEEN DESIGNED AND DRAWN ASSUMING EXISTING BUILDING CONDITIONS MATCH THE ORIGINAL DRAWINGS. THE GENERAL CONTRACTOR, IMMEDIATELY UPON ARRIVAL AT THE SITE, SHALL VERIFY ALL EXISTING STRUCTURAL COLUMN DIMENSIONS, STRUCTURAL BEARING HEIGHTS, EXISTING DIMENSIONS, TOP OF MASONRY ELEVATIONS, AND JOIST BEARING ELEVATIONS PRIOR TO THE FABRICATION OF ANY STRUCTURAL ITEMS. IF DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND EXISTING FIELD CONDITIONS, CONTACT THE WAL-MART CONSTRUCTION MANAGER AND THE ARCHITECT IMMEDIATELY TO DETERMINE WHAT ACTION SHOULD BE TAKEN TO MATCH EXISTING CONDITIONS. THE BEGINNING OF CONSTRUCTION OR FABRICATION BY THE GENERAL CONTRACTOR MEANS ACCEPTANCE OF THE EXISTING CONDITIONS.
3. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE WAL-MART CONSTRUCTION MANAGER OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON DRAWINGS.
4. THE CONTRACTOR SHALL FIELD LOCATE AND VERIFY ALL PROPERTY LINES, EASEMENTS, SETBACKS AND RESTRICTIONS AFFECTING CONSTRUCTION. IT REMAINS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE EXACT LOCATION OF ALL SAID BOUNDARIES.
5. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY SERVICES PRIOR TO ANY EXCAVATION.
6. THE CONTRACTOR SHALL VERIFY ALL GRADES AND PROPOSED FINAL GRADES. IF RAMPS, STOOPS OR STAIRS ARE INSTALLED, VERIFY FINAL GRADES SURROUNDING THE NEW CONSTRUCTION AND ADJUST STAIR RISERS, RAMP LENGTHS, ETC. TO ACCOMMODATE THE REQUIRED RAMP SLOPE OR RISER HEIGHTS. ALL RAMPS AND STAIRS SHALL MEET ADA-ADAAGS (OR ADOPTED HANDICAP ACCESSIBILITY REQUIREMENTS) UNLESS OTHERWISE SPECIFICALLY NOTED. IF THERE IS A CONFLICT IN FIELD CONDITIONS, NOTIFY WAL-MART CONSTRUCTION MANAGER AND THE ARCHITECT PRIOR TO CONSTRUCTION OR ORDERING OF MATERIALS.
7. THE CONTRACTOR SHALL VERIFY THE EXISTING FINISH FLOOR ELEVATION AT ALL NEW OPENINGS OF THE EXISTING BUILDING PRIOR TO ESTABLISHING THE FINISH FLOOR ELEVATION. THE CONTRACTOR SHALL VERIFY EXISTING FOOTING DEPTHS AND MATCH AT NEW ADDITION TO ENSURE PROPER BLOCK COURSING. REPORT ANY DISCREPANCIES IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE PROCEDURE TO ESTABLISH THE FINISH FLOOR SHALL BE TO REMOVE A SMALL PORTION OF A BLOCK IN A PROPOSED OPENING. THE CONTRACTOR MAY NOT REMOVE THE TOTAL BLOCK IN THE PROPOSED OPENING PRIOR TO THE ROOF BEING WATERTIGHT. COORDINATE WITH THE WAL-MART CONSTRUCTION MANAGER AND STORE MANAGER PRIOR TO REMOVING THE MASONRY FOR THE NEW OPENING.
8. REPORT ANY DISCREPANCIES FOUND IN THE FIELD IMMEDIATELY TO WAL-MART AND THE ARCHITECT PRIOR TO MAKING ANY STRUCTURAL MODIFICATIONS OR ORDERING OF ANY MATERIALS.

### VICINITY MAP



ARCHITECTS	STRUCTURAL ENGINEERS	MEP ENGINEERS	FIRE PROTECTION ENGINEERS	BUILDING OFFICIAL	STORE ADDRESS
HARRISON FRENCH & ASSOCIATES, PLLC. 809 SOUTHWEST "A" STREET, SUITE 201 BENTONVILLE, AR 72712 (479) 273-7780	WALLACE ENGINEERING 203 EAST BRADY STREET TULSA, OK 74103-2012 (918) 584-5858	HENDERSON ENGINEERS, INC. 8325 LENEXA DRIVE, SUITE 400 LENEXA, KS 66214 (913) 307-5300	ALTERNATIVES IN ENGINEERING, INC. 1314 HWY. DD DEFIANCE, MO 63341 (636) 398-5288	JOHNSTON COUNTY BUILDING DEPARTMENT ED LEWIS - BUILDING INSPECTOR 309 EAST MARKET STREET SMITHFIELD, NORTH CAROLINA 27577 (919) 989-5060	WAL-MART SUPERCENTER STORE #1321 1299 NORTH BRIGHTLEAF SMITHFIELD, NORTH CAROLINA 27577 (919) 989-6455

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WAL\*MART  
GENERAL REMODEL  
SMITHFIELD, NC  
STORE NO. 1321 DOC. DATE: 02/22/07  
JOB NUMBER: 107040.002

ISSUE BLOCK	DATE	ADD #
1	03/29/07	

CHECKED BY: CEB  
DRAWN BY: SLB  
DOCUMENT DATE: 02/22/07  
PROTO: 188 SC  
PROTO CYCLE: 10/25/06

COVER SHEET

SHEET: C1