

WAL*MART

GENERAL REMODEL

MOUNT AIRY, NORTH CAROLINA
STORE NO.: 1039

EXISTING SQ FT: 196,353
DATE: 12-14-06

GENERAL

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- EVC2 VISION CENTER ELECTRICAL SCHEDULES

GENERAL SCOPE OF WORK

- * INTERIOR WALLS: CLEAN, PREP AND PAINT
- * EXTERIOR SURFACES: CLEAN, PREP AND PAINT
- * CEILING GRID AND CEILING TILE: CLEAN AND REPLACE AS NOTED
- * FLOOR TILE: REPAIR AND REPLACE AS NOTED
- * VISION CENTER: REFURBISH AS NOTED
- * GARDEN CENTER: REFURBISH AS NOTED
- * RESTROOMS: REMODEL AS NOTED
- * DOORS: REPAIR/REPLACE AS NOTED
- * PHARMACY: REMODEL
- * PHOTO LAB: REMODEL AS NOTED
- * VARIOUS OFFICES: REMODEL
- * GROCERY: REMODEL - REPAIR/REPLACE EQUIPMENT AS NOTED

GENERAL REQUIREMENTS

1. ALL WORK SHALL BE DONE IN A SAFE AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH THE LOCAL AND/OR STATE (IF APPLICABLE) BUILDING CODES, NATIONAL ELECTRIC CODE (NEC), ADA-ADAAGS (ADOPTED HANDICAP ACCESSIBILITY REQUIREMENTS), OSHA AND ALL APPLICABLE CODES, REGULATIONS, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION.
2. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
3. THE EXISTING BUILDING SHALL BE PROTECTED FROM MOISTURE, DUST AND DEBRIS. INSTALL DUST PARTITIONS OR DRAPES AS REQUIRED AND/OR DIRECTED BY THE WAL-MART CONSTRUCTION MANAGER TO KEEP DUST AND MOISTURE FROM THE OPERATING AREAS OF THE STORE.
4. ANY DAMAGE TO WAL-MART PROPERTY, WHICH OCCURS DURING THE PROCESS OF CONSTRUCTION, SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO WAL-MART; THIS INCLUDES ALL MERCHANDISE. CONTRACTOR SHALL PAY WAL-MART THE COST FOR ALL DAMAGED MERCHANDISE.
5. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE EXISTING BUILDING SECURITY AT ALL TIMES. THIS INCLUDES KEEPING THE BUILDING SECURE FROM PERSONS, ENVIRONMENTAL ELEMENTS OR HAZARDS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE INTEGRITY OF ALL EXISTING SECURITY SYSTEMS. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE WAL-MART STORE MANAGER PRIOR TO THE MODIFICATION OF ANY EXISTING SECURITY SYSTEM FOR THE OPENING (DEMOLITION) OF ANY EXTERIOR WALL.
6. THE CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF DEBRIS AND IS TO REMOVE ALL TRASH AND DEBRIS FROM THE CONSTRUCTION AREA DAILY. NO FLAMMABLE MATERIALS OR LIQUIDS MAY BE STORED IN THE EXISTING BUILDING OR ANY NEW ADDITION.
7. REMOVE ANY EXISTING ITEMS, SERVICES, FINISHES OR SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION. PROVIDE FURRING FOR CONDUITS AND PIPING, SHOWN OR NOT, AND FINISH OUT FURRING TO MATCH ADJACENT EXISTING FINISHES.
8. REPAIR, RE-ROUTE, AND EXTEND ALL SERVICES, PIPING, CONDUIT OF EXISTING ITEMS AND EQUIPMENT AS REQUIRED DURING THE COMPLETE CONSTRUCTION PROCESS FOR THE COMPLETE INSTALLATION AND OPERATIONS OF NEW EQUIPMENT. THIS INCLUDES ALL ITEMS SHOWN OR NOT SHOWN ON THE DRAWINGS. RESET EXISTING EQUIPMENT OR RELATED ITEMS AS REQUIRED FOR PROPER OPERATION.
9. WHERE EXISTING FINISHES ARE TO REMAIN, CLEAN, REPAIR, PATCH, AND/OR REPAINT AS NECESSARY TO BLEND WITH ADJACENT SURFACES. COORDINATE WITH WAL-MART CONSTRUCTION MANAGER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS TO PROHIBIT DELAYS OF THE CONSTRUCTION SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.
11. THE GENERAL CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE STRUCTURAL ENGINEER/ARCHITECT FOR VERIFICATIONS, RESPONSES AND SUBMISSIONS.
12. DURING ENTIRE CONSTRUCTION PERIOD, PROVIDE ONE U.L. LISTED 2A:20BC DRY CHEMICAL FIRE EXTINGUISHER, OR ONE STANDARD U.L. LISTED 2-1/2 GALLON WATER (E-0) AND ONE U.L. LISTED 10BC CARBON DIOXIDE FIRE EXTINGUISHER MOUNTED TOGETHER IN EACH 3000 SQ. FT. OF WORK AREA OR FRACTION THEREOF (MINIMUM OF TWO AVAILABLE IN ALL CONSTRUCTION AREAS AT ALL TIMES).
13. THE STANDARD WAL-MART PROTOTYPE SPECIFICATIONS FOR REMODEL PROJECTS ARE A PART OF THESE CONSTRUCTION DOCUMENTS AND MUST BE REFERRED TO FOR COMPLETE DOCUMENTATION.
14. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE ITEMS AS DIRECTED BY WAL-MART CONSTRUCTION MANAGER DURING PRE-CONSTRUCTION MEETING.
15. IF MODIFICATION TO SPRINKLER SYSTEM IS REQUIRED, THE GENERAL CONTRACTOR SHALL HIRE A LICENSED SPRINKLER CONTRACTOR. CONTRACTOR TO SUBMIT SIGNED AND SEALED SPRINKLER DRAWINGS FOR APPROVAL PRIOR TO ANY ALTERATION OF THE AUTOMATIC SPRINKLER SYSTEM. WORK TO BE DONE UNDER SEPARATE PERMIT.

BUILDING CODE SUMMARY

NAME OF PROJECT: MOUNT AIRY, NORTH CAROLINA
STREET ADDRESS: 2241 ROCKFORD STREET
PROPOSED USE: RETAIL
CODES: 2006 NORTH CAROLINA BUILDING CODE
2006 NORTH CAROLINA MECHANICAL CODE
2006 NORTH CAROLINA PLUMBING CODE
2006 NORTH CAROLINA ELECTRICAL CODE
2006 NORTH CAROLINA FIRE PREVENTION CODE

OCCUPANCY: M-MERCANTILE
TYPE OF CONSTRUCTION: II B

FIRE RETARDANT TREATED WOOD IS REQUIRED ON THIS PROJECT

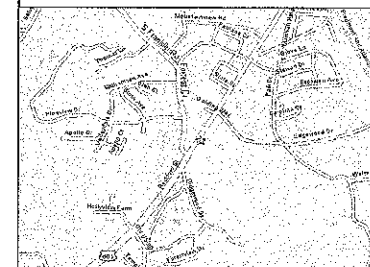
SIGNAGE PERMITTED SEPARATELY

SIGNAGE FURNISHED AND INSTALLED BY WAL-MART SIGNAGE CONTRACTOR NIC. REF A1.1

SITE VERIFICATION REQUIREMENTS

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE SUBMISSION OF HIS BID, ORDERING OF MATERIALS, AND TO THE COMMENCEMENT OF ANY WORK.
2. THESE CONSTRUCTION DOCUMENTS HAVE BEEN DESIGNED AND DRAWN ASSUMING EXISTING BUILDING CONDITIONS MATCH THE ORIGINAL DRAWINGS. THE GENERAL CONTRACTOR, IMMEDIATELY UPON ARRIVAL AT THE SITE, SHALL VERIFY ALL EXISTING STRUCTURAL COLUMN DIMENSIONS, STRUCTURAL BEARING HEIGHTS, EXISTING DIMENSIONS, TOP OF MASONRY ELEVATIONS, AND JOIST BEARING ELEVATIONS PRIOR TO THE FABRICATION OF ANY STRUCTURAL ITEMS. IF DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND EXISTING FIELD CONDITIONS, CONTACT THE WAL-MART CONSTRUCTION MANAGER AND THE ARCHITECT IMMEDIATELY TO DETERMINE WHAT ACTION SHOULD BE TAKEN TO MATCH EXISTING CONDITIONS. THE BEGINNING OF CONSTRUCTION OR FABRICATION BY THE GENERAL CONTRACTOR MEANS ACCEPTANCE OF THE EXISTING CONDITIONS.
3. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE WAL-MART CONSTRUCTION MANAGER OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON DRAWINGS.
4. THE CONTRACTOR SHALL FIELD LOCATE AND VERIFY ALL PROPERTY LINES, EASEMENTS, SETBACKS AND RESTRICTIONS AFFECTING CONSTRUCTION. IT REMAINS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE EXACT LOCATION OF ALL SAID BOUNDARIES.
5. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY SERVICES PRIOR TO ANY EXCAVATION.
6. THE CONTRACTOR SHALL VERIFY ALL GRADES AND PROPOSED FINAL GRADES. IF RAMPS, STOOPS OR STAIRS ARE INSTALLED, VERIFY FINAL GRADES SURROUNDING THE NEW CONSTRUCTION AND ADJUST STAIR RISERS, RAMP LENGTHS, ETC. TO ACCOMMODATE THE REQUIRED RAMP SLOPE OR RISER HEIGHTS. ALL RAMPS AND STAIRS SHALL MEET ADA-ADAAGS (OR ADOPTED HANDICAP ACCESSIBILITY REQUIREMENTS) UNLESS OTHERWISE SPECIFICALLY NOTED. IF THERE IS A CONFLICT IN FIELD CONDITIONS, NOTIFY WAL-MART CONSTRUCTION MANAGER AND THE ARCHITECT PRIOR TO CONSTRUCTION OR ORDERING OF MATERIALS.
7. THE CONTRACTOR SHALL VERIFY THE EXISTING FINISH FLOOR ELEVATION AT ALL NEW OPENINGS OF THE EXISTING BUILDING PRIOR TO ESTABLISHING THE FINISH FLOOR ELEVATION. THE CONTRACTOR SHALL VERIFY EXISTING FOOTING DEPTHS AND MATCH AT NEW ADDITION TO ENSURE PROPER BLOCK COURSEING. REPORT ANY DISCREPANCIES IMMEDIATELY AND PRIOR TO CONSTRUCTION THE PROCEDURE TO ESTABLISH THE FINISH FLOOR SHALL BE TO REMOVE A SMALL PORTION OF A BLOCK IN A PROPOSED OPENING. THE CONTRACTOR MAY NOT REMOVE THE TOTAL BLOCK IN THE PROPOSED OPENING PRIOR TO THE ROOF BEING WATER-TIGHT. COORDINATE WITH THE WAL-MART CONSTRUCTION MANAGER AND STORE MANAGER PRIOR TO REMOVING THE MASONRY FOR THE NEW OPENING.
8. REPORT ANY DISCREPANCIES FOUND IN THE FIELD IMMEDIATELY TO WAL-MART AND THE ARCHITECT PRIOR TO MAKING ANY STRUCTURAL MODIFICATIONS OR ORDERING OF ANY MATERIALS.

VICINITY MAP



ARCHITECTS: PB2 ARCHITECTURE AND ENGINEERING 710 WEST ROSELAWN DRIVE ROGERS, ARKANSAS 72756 (479) 636-3545	STRUCTURAL ENGINEERS: WALLACE ENGINEERING STRUCTURAL CONSULTANTS INC. 200 EAST BRADY STREET TULSA, OKLAHOMA 74103 (918) 584-5858	FIRE PROTECTION ENGINEER: TVA FIRE AND LIFE SAFETY 900 CIRCLE 75 PARKWAY SUITE 680 ATLANTA, GEORGIA 30339 (770) 432-3882	MECHANICAL/ELECTRICAL ENGINEERS: PROJECT SOLUTIONS ENGINEERING, INC. 1390 BOONE INDUSTRIAL DRIVE SUITE 200 COLUMBIA, MISSOURI 65202 (573) 443-7100	BUILDING REVIEW: SURRY COUNTY BUILDING INSPECTIONS DEPARTMENT GOVERNMENT CENTER 118 HAMBY ROAD SUITE 144 DOBSON, NORTH CAROLINA 27017 (336) 401-8300	HEALTH REVIEW: SURRY COUNTY HEALTH DEPARTMENT 118 HAMBY ROAD DOBSON, NORTH CAROLINA 27017 (336) 401-8325	STORE ADDRESS: WAL-MART STORE NO. 1039 2241 ROCKFORD STREET MOUNT AIRY, NORTH CAROLINA 27030
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STIPULATION FOR REUSE:
THIS DRAWING WAS PREPARED FOR USE WITH A SPECIFIC PROJECT AND SITE. IT IS NOT SUITABLE FOR REUSE ON ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

WAL*MART
GENERAL REMODEL
MOUNT AIRY, NORTH CAROLINA
STORE NO. 1039
JOB NUMBER: 2006-0825

ISSUE BLOCK	
DATE	PLAN REV#
03-02-07	PLAN REV#

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DRAWN BY: BLC/MAD
DOCUMENT DATE: 12-14-06
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PROTO CYCLE: 10-26-06

COVER SHEET
SHEET: C1

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Always. WAL*MART GENERAL REMODEL Low Prices