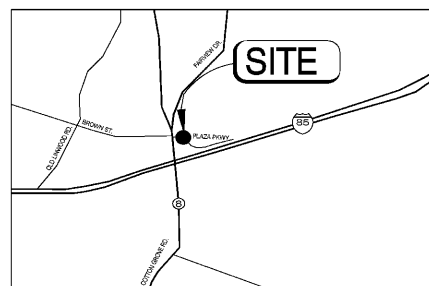


TRACTOR SUPPLY COMPANY

LEXINGTON, NORTH CAROLINA

VICINITY MAP



TENANT

TRACTOR SUPPLY COMPANY
NASHVILLE, TENNESSEE

ARCHITECT

OXFORD Architecture
209 10TH AVENUE SOUTH SUITE 320
NASHVILLE, TENNESSEE 37203

PROJECT ARCHITECT
GLEN P. OXFORD, AIA
615.256.3455

STRUCTURAL ENGINEER

EMC STRUCTURAL ENGINEERS, P.C.
4525 TROUSDALE DRIVE
NASHVILLE, TN 37204
PROJECT ENGINEER

JOHNNY JOHNSON
615.781.8199

M, P, E CONSULTANT
DEVITA & ASSOCIATES, INC.
1150 E. WASHINGTON ST. (29601)
GREENVILLE, SOUTH CAROLINA 29602

VICE PRESIDENT COMMERCIAL DIVISION
DONALD R. WHITE
864.527.0320

GENERAL NOTES:

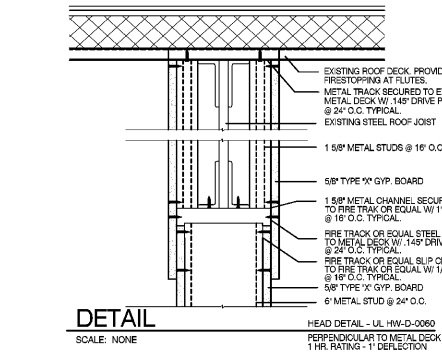
- ALL CONSTRUCTION AND DETAILS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES AND ORDINANCES AS OF THE DATE OF THE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS OF THE SITE. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BARRICADES AND PROTECTIVE DEVICES REFLECTING CONSTRUCTION AREAS. TEMPORARY PAVEMENT SHALL BE PROVIDED AS REQUIRED.
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE EXISTING CONSTRUCTION AS NECESSARY TO INSTALL NEW CONSTRUCTION AS SHOWN.
- REMOVE ALL CONSTRUCTION AND DEMOLITION DEBRIS FROM JOB SITE DAILY. MAKE JOB PREMISES CLEAN AT COMPLETION OF PROJECT.
- ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY AND WITHOUT SPECIAL KNOWLEDGE OR EFFORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION AND SIZE OF OPENINGS FOR ALL TRADES AND SHALL COORDINATE ALL CONSTRUCTION AS INDICATED BY THE CONTRACT DOCUMENTS, INCLUDING SHOP DRAWINGS REVIEWED BY THE ARCHITECT.
- FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT PRIOR TO COMPLETION OF CONSTRUCTION.
- ALL DIMENSIONS ARE FACE OF BRICK OR AT NEW WALLS UNLESS NOTED OTHERWISE.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IF DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- THRESHOLDS SHALL NOT EXCEED 1/2" INCH HEIGHT.
- INTERIOR PARTITION WALLS SHALL BE 3-5/8" STEEL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD UNLESS NOTED OTHERWISE. DRYWALL TO BE HELD UP 1/2" ABOVE CONCRETE FLOOR.
- THE FOLLOWING ITEMS ARE FURNISHED BY T.S.C. AND INSTALLED BY THE CONTRACTOR:
QUANTITY ITEM
1 SET RESTROOM ACCESSORIES
FIRE EXTINGUISHERS
BRILLE SIGNS
COMING SOON SIGN
- THE FOLLOWING ITEMS ARE FURNISHED AND INSTALLED BY T.S.C.
QUANTITY ITEM
1 GREY SIGN
1 CLUB CADET SIGN
1 T.S.C. ROAD SIGN, GENERAL CONTRACTOR TO PROVIDE SIGN BASE
COORDINATE WITH COMPANY ASSIGNED TO THIS LOCATION
- SPECIFY MANUFACTURERS AND PRODUCTS ARE NAMED ON THE DRAWINGS TO INDICATE THE MINIMUM ACCEPTABLE LEVEL OF QUALITY. EQUAL OR BETTER PRODUCTS WILL BE CONSIDERED UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL OFFICE WALLS TO BE INSULATED ALONG WITH WALLS AT CONFERENCE ROOMS AND ROOMS HOUSING PLUMBING FIXTURES.
- ROUGH FINISHING AND POOR CUTS AROUND ELECTRICAL, OUTLETS WILL NOT BE ACCEPTED.
- CONCEAL ALL PIPING IN WALLS. WHERE PIPING IS TOO LARGE WALLS ARE TO BE FURRED OUT A MINIMUM TO CONCEAL PIPING.
- PROVIDE WATER RESISTANT GYPSUM BOARD BEHIND ALL PLUMBING FIXTURES.
- ALL COUNTERTOPS TO BE 2" IN DEPTH UNLESS OTHERWISE NOTED.
- PROVIDE SOLID BLOCKING FOR WALL HUNG CABINETS, PLUMBING FIXTURES, ACCESSORIES AND MILLWORK.
- ALL MATERIALS USED BY ALL TRADES SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY AND INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
- TSC RESERVES THE RIGHT TO REVIEW THE BUILDING OR BEFORE THE EXPIRATION OF THE GOS ONE YEAR WARRANTY. IF ANY WARRANTY OR PUNCH LIST ITEMS ARE FOUND THE G.O. SHALL IMMEDIATELY CORRECT THE CONDITION AT ITS EXPENSE. OR TSC MAY CORRECT THE CONDITION AND REDUCE RENT PAYMENT BY THE AMOUNT OF THE EXPENSE TO TSC FOR THE MONTH IN WHICH THE COSTS IS BILLED TO TSC.
- THE GENERAL CONTRACTOR SHALL UNLOAD AND STORE THE FOLLOWING ITEMS: THEY ARE LISTED BY ITEM, PROBABLE VENDOR AND APPROX. DATE OF DELIVERY (IN WEEKS BEFORE COMPLETION, EXCEPT AS NOTED). IF THESE ITEMS ARE REQUIRED AND DELIVERY CHARGES ARE INCURRED, THE GC SHALL BE RESPONSIBLE FOR PAYMENT OF ANY CHARGES. 1) COMING SOON SIGN, FORMSERVICE, START OF CONSTRUCTION. 2) BRILLE SIGNS, FORMSERVICE, FOUR WEEKS. 3) FIRE EXTINGUISHERS, NO. FOUR WEEKS. 4) TOLL ET ACCESSORIES, BAYWEST, FOUR WEEKS. 5) FIXTURE PLAN, TSC, FOUR WEEKS. 6) FORKLIFT (VARIOUS), THREE WEEKS. 7) DOCK PLATERED TABLES/PALLET JACKS/ADJUSTABLE DOOR HAMMS, ALABAMA COMMERCIAL, THREE WEEKS. 8) RECEIPT AND INITIAL REBUILDER/CUSTOMER SERVICE COUNTER AND RECEIVING TABLE BY LOOPER, THREE WEEKS. CONTRACTOR RESPONSIBLE FOR WAREHOUSE FIXTURE INSTALLATION.
- GENERAL CONTRACTOR TO PROVIDE 2 COPIES OF SITE PLAN AND ELEVATIONS TO SIGN COMPANY ASSIGNED TO THIS PROJECT. VERIFY SIGN COMPANY INSTRUCTIONS. 1 COPY OF ELEVATIONS TO DISCKER CO., RICK TOWNE 601.785.9898 - 1 COPIES OF FLOOR PLAN TO KEN MARSH, KMARSH@TRACTORSUPPLY.COM. WITHIN TWO WEEKS OF STARTING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL COORDINATE AND SCHEDULE THE ALARM COMPANY FOR ALL ROUGH-IN AND FINAL CONNECTIONS AND INSPECTIONS. CONTACT TSC, EDGEE FOLEY 615.986.8868 FOR THE ALARM COMPANY ASSIGNED TO THIS LOCATION NO LATER THAN TWO WEEKS AFTER CONSTRUCTION START.
- CLOSE-OUT REQUIREMENTS (TO BE SUBMITTED IN DUPLICATE, IN BINDERS): CERTIFICATE OF OCCUPANCY OR LOCAL EQUIVALENT, SUBCONTRACTORS LISTING WITH PHONE NUMBER, ADDRESS, CONTACT AND WORK PERFORMED, WAIVERS OF LIEN FROM TSC NATIONAL ACCOUNTS FOR AUTOMATIC DOORS, LIGHT FIXTURES, SWITCHGEAR AND EXTERIOR RED STRIP. GENERAL CONTRACTORS ONE YEAR WARRANTY AND WARRANTIES FOR HVAC, ROOFING, AUTOMATIC DOORS, OVERHEAD DOORS, WATER HEATER AND WATER COOLER. INDEPENDENT CERTIFICATION REPORT FOR THE STRUCTURAL STEEL OR SHEET METAL INSTALLATION, TEST AND BALANCE CERTIFICATION FOR THE HVAC SYSTEM, COMPLETED PUNCH LIST (ISSUED BY TSC), FULL SIZE SET OF AS-BUILT DRAWINGS SENT TO THE ARCHITECT AND ALL DRAWINGS SENT TO THE CIVIL ENGINEER. AT OWNERS EXPENSE ARCHITECT AND CIVIL ENGINEER SHALL MAKE THE AS-BUILT CHANGES TO THE RECORD CAD FILES. CLOUD THESE CHANGES AND WALL STEEL TO BE RE-ENGINEERED METAL BUILDINGS AS BUILT ALONG WITH THE DATE. ARCHITECT AND CIVIL ENGINEER SHALL PROVIDE TO TSC WITH A CD VERSION OF THE FINAL DOCUMENTS AS WELL AS THE FINAL CONTRACTORS RED MARKS. ADDITIONALLY, A LIST OF ALL PAINT COLORS AND PAINT MIXES USED ON THE PROJECT.
- THE MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL ANY DUCT SMOKE DETECTOR REQUIRED BY THE AUTHORITY HAVING JURISDICTION. COORDINATE WITH THE ASSIGNED ALARM COMPANY.
- THE GENERAL CONTRACTOR SHALL PAY FOR ALL UTILITY COSTS DURING CONSTRUCTION THEN TRANSFER ALL UTILITIES TO TSCS NAME NO SOONER THAN THE FIXTURE DATE AS ESTABLISHED BY TSC. GENERAL CONTRACTOR SHALL MAKE ALL APPLICATIONS FOR THE TRANSFER AS TSCS AGENT. SHOULD THERE BE ANY QUESTIONS, DEPOSITS OR PROBLEMS THE G.O. IS TO CONTACT RHONDA ADER AT AVISTA ADVANTAGE # 503.320.7071.
- SUBSTANTIAL COMPLETION MUST BE ACHIEVED ONE WEEK PRIOR TO THE FIXTURE DATE ESTABLISHED BY TSC. AND THE GENERAL CONTRACTOR SHALL SUBMIT A REPORT ON THE SCHEDULE TO THE CONTRACTORS STANDING ROOM OR ONE WHICH WILL BE GENERATED BY TSC AFTER THE SCHEDULE HAS BEEN DELIVERED TO TSC.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NECESSARY MOVEMENT OF THE STRUCTURE TO PROVIDE FOOTING, COMPACTED, AND CONCRETE QUALITY AND STRENGTH. THE RESULTS ARE TO BE SUBMITTED TO TSC OR ITS DESIGNER FOR REVIEW. THE G.O. SHALL LIKEWISE PROVIDE AN INDEPENDENT INSPECTOR TO CERTIFY PROPER INSTALLATION OF THE STRUCTURAL STEEL TO BE RE-ENGINEERED METAL BUILDINGS SYSTEM.
- FOR RED STRIPING, CONTACT DECKER COMPANY AT 901.795.9536, ACCOUNT REP.: RICK TOWN.
- ALL ELECTRICAL PLUMBING LINES THAT OCCUR ALONG A WALL, WHERE FIXTURES ARE TO BE LOCATED SHALL RUN WITHIN THE WALL, OR IN CORNERS WHERE FIXTURE VOID OCCUR.

DRAWING INDEX

ISSUED FOR CONSTRUCTION	COVER SHEET	CIVIL	ARCHITECTURAL	STRUCTURAL	MECHANICAL	PLUMBING	FIRE PROTECTION	ELECTRICAL																				
05.07.2007			AS-1 SITE REFERENCE PLAN	D-1 DEMOLITION PLAN	A-0 DOOR AND FINISH SCHEDULES	A-1 ARCHITECTURAL FLOOR PLAN	A-2 ARCHITECTURAL ELEVATIONS	A-3 REFLECTED CEILING PLAN	A-4 SECTIONS AND DETAILS	A-5 FIXTURE PLAN	S-1 FOUNDATION PLAN	S-2 SECTIONS AND DETAILS GENERAL NOTES	M-1 H.V.A.C FLOOR PLAN	M-2 MECHANICAL DETAILS AND SCHEDULES	P-1 PLUMBING FLOOR PLAN	P-2 PLUMBING LEGENDS AND DETAILS	FP-1 FIRE PROTECTION FLOOR PLAN	ES-1 ELECTRICAL SITE PLAN	E-1 GENERAL LIGHTING PLAN	E-2 GENERAL POWER PLAN	E-3 SYSTEMS FLOOR PLAN	E-4 ELECTRICAL LEGENDS & DETAILS	E-4A SINGLE LINE DIAGRAM	E-5 ELECTRICAL SYSTEM DETAILS	E-6 VENDOR DETAILS	EMS-1 EMS DETAILS	EMS-2 EMS CABLING AND NOTES	EMS-3 EMS SYSTEM DETAILS

DEMISING WALL

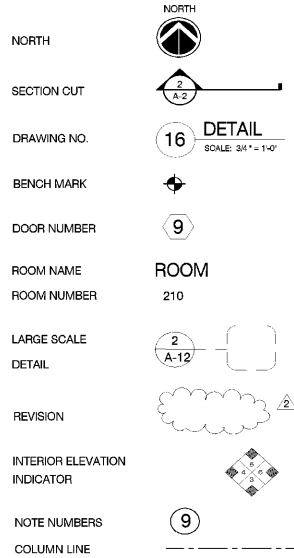
A. CONSTRUCT A DEMISING WALL SEPARATING THE PROPOSED TENANT NO. 1 SPACE FROM THE REMAINING VACANT SPACE. DEMISING WALL SHALL BE 1 HOUR RATED PER UL DESIGN NO. U419 FOR WALL ASSEMBLY AND UL HW-D-080. DEMISING WALL TO EXTEND FROM FLOOR TO THE UNDERSIDE OF DECK USING A MINIMUM 6" X 20 GAUGE METAL STUD AT 24" O.C. DEFLECTION AND PRESTOP TRACK CEILING RUNNER TO ALLOW FOR HEAD OF WALL TO COMPRESS OR EXTEND WITH MOVEMENT OF STRUCTURE ABOVE WHILE MAINTAINING THE PRE-RATINGS OF THE WALL ASSEMBLY. THE ASSEMBLY SHALL HAVE BEEN TESTED AND LISTED BY A CODE APPROVED LABORATORY TO ACCOMMODATE THE REQUIRED MOVEMENT. PROVIDE FIRE TRAK™ AS MANUFACTURED BY FIRE TRAK CORP OR EQUAL. PROVIDE A MINIMUM 1/2" GYPSUM BOARD FINISH FROM FLOOR TO CEILING HEIGHT, Sanded Smooth Ready For PAINT AND PRE-TAPE ABOVE CEILING. INSTALL, CONTROL JOINTS AT 30'-0" O.C.



SCOPE OF WORK FOR TRACTOR SUPPLY COMPANY SPACE

- LANDLORD TO PROVIDE**
- NOTE: LANDLORDS CONTRACTOR TO PAY ALL REMODEL, TAXES AND PERMIT FEES AS REQUIRED OR WORK PERFORMED.
- EXISTING AIR HANDLING UNITS TO REMAIN. LANDLORD TO SERVICE UNITS AND PROVIDE PARTS NECESSARY TO BRING UNITS UP TO ORIGINAL OPERATING SPECIFICATIONS. ANY AND ALL WORK RELATED TO THIS INCLUDING BUT NOT LIMITED TO ALL UTILITIES, ROOF, STRUCTURAL STEEL, DUCTWORK, CONDENSATION LINES, ETC.
 - REMOVAL OF ALL HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS AND ASBESTOS CONTAINING MATERIALS, BLACK MOLD, ETC.
 - WEATHER TIGHT ROOF, FREE FROM LEAKS.
 - THE BUILDING IN STRUCTURALLY SOUND CONDITION.
 - REMOVE DAMAGED AND PEELING PAINT, ALGAE AND MOLD ON REAR OF BUILDING AND LOADING DOCKS. APPLY BLOCK-FILLER AND PAINT AS REQUIRED.
 - REPAIR GUTTERS AND DOWN SPOUTS AS REQUIRED.
 - LANDLORD TO ERECT NEW MULTI-TENANT Pylon SIGN AT LANDLORDS EXPENSE.
 - LANDLORD TO REPAIR EXISTING CURBS IN PARKING LOT WHERE REQUIRED.
- TSC CONTRACTOR WORK**
- NOTE: CONTRACTOR BIDS TO INCLUDE ALL REMODEL, TAXES AND PERMIT FEES AS REQUIRED.
- EXTERIOR DEMO**
- SAW CUT AND REMOVE CONCRETE WHERE INDICATED ON ARCHITECTURAL DRAWINGS.
 - REMOVE SUBSTRATE ADJACENT TO BUILDING WHERE SHOWN ON ARCHITECTURAL DRAWINGS. PREP AREA TO RECEIVE NEW CONCRETE WORK.
- EXTERIOR**
- ADD NEW WALL PACK LIGHT FIXTURES AT SIDE OF BUILDING PER ARCHITECTURAL DRAWINGS. (4)
 - PROVIDE ELECTRICAL TO SIGNAGE. TSC TO RECEIVE PRO-RATIONAL SHARE OF THE NEW Pylon SIGN. TSC SIGN COMPANY TO INSTALL LETTERING ON SIGN PANEL.
 - CREATE NEW CONCRETE 18,000 SQ. FT. FENCED OUTDOOR DISPLAY AREA AT SIDE OF BUILDING. 100X180 4" CENTER AND 8" TURN DOWN AT PERIMETER.
 - INSTALL NEW PIPE BOLLS AS REQUIRED.
 - PROVIDE NEW HANDICAP PARKING SPACES WHERE REQUIRED BY CODE.
 - INSTALL NEW GUARDRAIL AT EXISTING LOADING DOCK TO MEET CODE.
 - ADD NEW CONCRETE LIFT PAD AT EXISTING LOADING DOCK PER ARCHITECTURAL DRAWINGS.
 - REPLACE BROKEN STOREFRONT GLASS.
 - INFILL OPENINGS WITH MATERIALS TO MATCH EXISTING PRIOR TO PAINT.
- INTERIOR DEMO**
- REMOVE CONCRETE SLAB WHERE NECESSARY TO TIE IN NEW PLUMBING LINES.
 - REMOVE PARTITIONS WHERE INDICATED ON ARCHITECTURAL PLANS.
 - REMOVE INTERIOR WALL HANGINGS, SCOFFS, FIXTURES OR FURNISHINGS INCLUDING BUT NOT LIMITED TO COOLERS, DISPLAY CASES, ETC. AS REQUIRED PER ARCHITECTURAL DRAWINGS.
 - REMOVE MASONRY WHERE REQUIRED TO CREATE NEW OPENINGS OR RAISE HEIGHT OF EXISTING OPENINGS.
 - DISCONNECT AND REMOVE ANY ABANDONED ELECTRICAL PANELS, ELECTRICAL WIRING, CONDUTTS, FATTERERS AND LIGHTING FIXTURES.
 - REMOVE ALL CASING, CARPET AND MASTIC FROM COLUMNS AND PREP FOR PAINT.
 - REMOVE EXISTING FLOOR TILE, CARPET, MASTIC AND ALL OTHER FLOOR COVERINGS IN NEW CORE AREA AND SALES FLOOR AREA. PREP FLOOR TO RECEIVE NEW WORK.
 - CUT OUT EXISTING SLAB WHERE NECESSARY TO TIE IN NEW PLUMBING LINES.
 - REMOVE GRATES @ EXISTING CAN WASH AREA.
- INTERIOR**
- ALL FLOOR TILES REMOVED WITH CONCRETE CLEANED, REPAIRED, HOLES FILLED AND RELEVELLED. 100% NEW VOT RELEVELMENT IN SALES FLOOR AREA AND NEW CORE AREAS.
 - REPAIR EXISTING CEILING GRID AND TILES IN SALES FLOOR AREA. CONTRACTOR TO PREP PAINTING AS GENERAL CONTRACTOR'S RESPONSIBILITY.
 - REPAIR ALL EXISTING MASONRY/RYPP. WALLS TO REMAIN AND PREP TO RECEIVE NEW PAINT IN AREA OF SALES FLOOR AND CORE.
 - PAINT INTERIOR INCLUDING RED STRIPE ACCORDING TO ARCHITECTURAL PLANS.
 - EXISTING BATHROOMS TO REMAIN. CONTRACTOR TO CLEAN THOROUGHLY.
 - ADD NEW MANAGERS OFFICE.
 - ADD NEW EMPLOYEE LOUNGE.
 - ADD NEW JANITORS CLOSET.
 - ADD NEW PLUMBING FOR NEW EMPLOYEE LOUNGE AND JANITORS CLOSET. ADD NEW HVAC DUCTWORK IN NEW MANAGERS OFFICE AND EMPLOYEE LOUNGE.
 - REWORK SPRINKLER IN NEW MANAGERS OFFICE AND EMPLOYEE LOUNGE.
 - RETRACT LIGHT KITS FROM HERMITAGE LIGHTING. (REBULB AND REBALLAST) ALLOW FOR HEAD OF WALLS TO COMPRESS OR EXTEND WITH MOVEMENT OF STRUCTURE ABOVE WHILE MAINTAINING THE PRE-RATINGS OF THE WALL ASSEMBLY.
 - ADD NEW LIGHT FIXTURES WHERE REQUIRED PER ARCHITECTURAL DRAWINGS.
 - CONTRACTOR BIDS TO SHOW THE ADDITION OF EMS SYSTEM. SEE ELECTRICAL DRAWINGS.
 - CONTRACTOR TO PLACE EXISTING SLIDING STOREFRONT DOORS IN PROPER WORKING ORDER.
 - INSTALL NEW BATHROOM ACCESSORIES.
 - ADD NEW DOOR TO FENCED OUTDOOR DISPLAY AREA PER ARCHITECTURAL DRAWINGS.
 - ADD NEW 10X10 OVERHEAD DOOR AND MAN DOOR AT LOADING DOCK.
 - ADD NEW 10X10 OVERHEAD DOOR AT FENCED OUTDOOR DISPLAY AREA. CONTRACTOR RESPONSIBLE FOR TRANSITION PAVEMENT AT NEW OPENING.
 - ADD NEW PHONE BOARD.
 - EXISTING ELECTRICAL PANELS TO BE REUSED. LICENSED ELECTRICAL CONTRACTOR TO VISIT SITE PRIOR TO BID. WORK MAY INCLUDE ALL NECESSARY EQUIPMENT, SWITCHES, TRANSFORMER, PANELS, ETC TO PROVIDE A COMPLETE OPERATING ELECTRICAL SYSTEM TO COMPLY WITH APPLICABLE CODES.
 - INSTALL NEW COUNTERS, ELASION DOORS, SECURITY DOMES AND BOLT DOWN PALLET RACKS IN STOCKROOM AND FENCED OUTDOOR DISPLAY AREA PER TSC PROVIDED FIXTURE PLAN.
 - INSTALL NEW WATER HEATER AND MOP SINK.
 - ADD NEW VINYL PLANK FLOORING. VERIFY WITH TSC PROVIDED FIXTURE PLAN.
 - ADD HAND DOOR HARDWARE AS REQUIRED PER LOCAL CODES.
 - ASSEMBLE AND INSTALL NEW PREPARATED DRESSING ROOM PROVIDED BY TSC.
 - REPLACE BROKEN STOREFRONT GLASS WITH MATCHING.
 - TACK WELD STEEL GRATES OVER REFRIGERATION TRUCKS AT REAR OF BUILDING. ADD NEW GRATES IF MISSING.
 - ADD NEW EXISTING WASTE LINES & CAN WASH AREA BELOW NEW SLAB.
 - CONTRACTOR TO INSTALL NEW HVAC ROOF TOP UNITS PER DRAWINGS. CONTRACTOR RESPONSIBLE FOR ANY AND ALL WORK RELATED TO THIS INCLUDING BUT NOT LIMITED TO ALL UTILITIES, ROOF, STRUCTURAL STEEL, DUCTWORK, CONDENSATION LINES, ETC.

GRAPHIC SYMBOLS

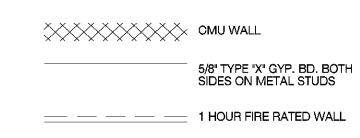


PROJECT DATA

THIS PROJECT IS BASED ON THE REQUIREMENTS OF THE FOLLOWING:
2003 INTERNATIONAL BUILDING CODE WITH NORTH CAROLINA AMENDMENTS
2003 INTERNATIONAL MECHANICAL CODE WITH NORTH CAROLINA AMENDMENTS
2003 INTERNATIONAL PLUMBING CODE WITH NORTH CAROLINA AMENDMENTS
2003 INTERNATIONAL ELECTRICAL CODE WITH NORTH CAROLINA AMENDMENTS
2003 INTERNATIONAL FUEL GAS CODE WITH NORTH CAROLINA AMENDMENTS
2006 NORTH CAROLINA FIRE PREVENTION CODE

OCCUPANCY CLASSIFICATION	MERCANTILE	FIRE SUPPRESSION	IB SPRINKLERED
VESTIBULE AREA	1,077 SQ. FT. / 30		= 35.9 OR 36
SHOWROOM	18,555 SQ. FT. / 30		= 618.5 OR 619
OFFICE CORE & WALLS	1,616 SQ. FT. / 100		= 16.16 OR 17
STOCKROOM	12,109 SQ. FT. / 100		= 40.36 OR 41
TOTAL BUILDING AREA	33,357 SQ. FT.		
TOTAL OCCUPANT LOAD			= 713

WALL TYPES



PROJECT SUMMARY
TRACTOR SUPPLY COMPANY IS A RETAILER TARGETING THE HOBBY FARMER. ITEMS SOLD AT TSC INCLUDE CLOTHING, FENCING, HARDWARE, BIRD FEED AND EQUINE PRODUCTS.

DETAIL
SCALE: NONE
CONTROL JOINT @ RATED WALL

DETAIL
SCALE: NONE
HEAD DETAIL - UL HW-D-080
PARALLEL TO METAL DECK
1 HR. RATING - 1" DEFLECTION

DETAIL
SCALE: NONE
HEAD DETAIL - UL HW-D-080
PERPENDICULAR TO METAL DECK
1 HR. RATING - 1" DEFLECTION