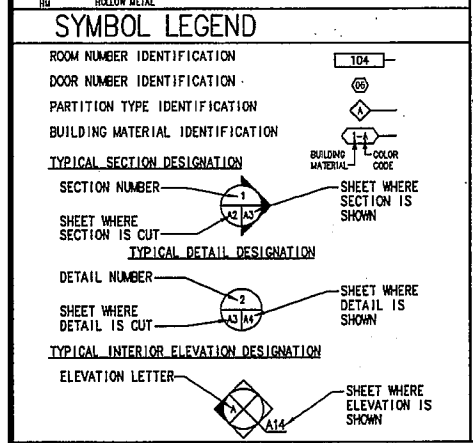


ABBREVIATIONS		GENERAL NOTES	
ACT	ACROUSTICAL CEILING TILE	HP	HIGH POINT
AF	ASBESTOS FLOOR	HAC	HEATING & A/C CONTRACTOR
ASPH	ASPHALT	HD	HIGH DENSITY
APM	ARCHITECTURAL PROJECT MANAGER	IC	INSIDE DIVISION CLEAR
BK	BLOCK	INT	INTERIOR
BK'S	BLOCKING	JT	JOINT
BSU	BARS 'N' US	KUS 'N' US	KIDS 'N' US
BS	BOTH SIDES	LAM	LAMINATE
CLD	CEILING	LAV	LAVATORY
CPU	CUSTOMER PICK-UP	LP	LOW POINT
CT	CERAMIC TILE	MAX	MAXIMUM
CCNC	CONCRETE	MTL	METAL
CONT	CONTINUOUS	MIN	MINIMUM
CONTR	CONTRACTOR	MO	MASONRY OPENING
CJ	CONTROL JOINT	HC	HOT IN CONTRACT
CPM	CONSTRUCTION PROJECT MANAGER	HO	HOLLOW
DN	DOWN	OC	ON CENTER
DIA	DIAMETER	OH	OPPOSITE HAND
DWG	DRAWING	OPN	OPENING
EDC	ELECTRICAL DISTRIBUTION CENTER	OSI	OWNER SUPPLIED ITEMS
EF	EACH FACE	OSC	PLUMBING CONTRACTOR
EW	EACH WAY	PLAS LAM	PLASTIC LAMINATE
EW	ELECTRIC WATER COOLER	PL	PLATE
EL	ELEVATION	PLYD	PLYWOOD
ETR	EXTENDING TO REMAIN	RADJ	RADIUS
ELECT	ELECTRICAL	REFL/CLP	REFLECTED CEILING PLAN
ELC	ELECTRICAL CONTRACTOR	REQ'D	REQUIRED
EXST	EXISTING	RFS	ROOM FINISH SCHEDULE
EXP	EXPANSION	STL	STEEL
EFS	EXTERIOR INSULATING FINISH SYSTEM	SUSP CLG	SUSPENDED CEILING
EXT	EXTERIOR	TOM	TOP OF MASONRY
FP	FIREPROOF	TOS	TOP OF STEEL
FBI	FINISH(BE)	TRU	TRUSS
FA	FIELD VERIFY	TRP	TYPICAL
GV	GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GL	GLASS	W	WITH
GWG	Gypsum WALL BOARD	WO	WOOD
GC	GENERAL CONTRACTOR		
HU	HOLLOW METAL		



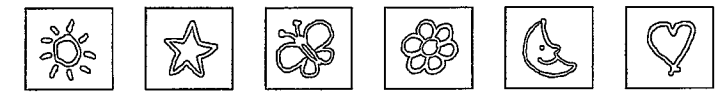
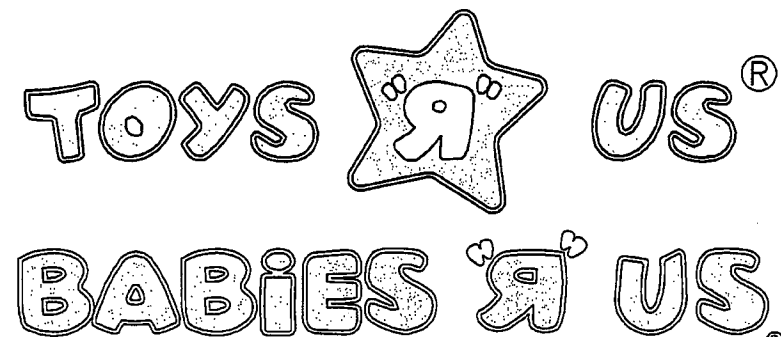
OWNER SUPPLIED ITEMS - RESPONSIBILITY MATRIX

THE INTENT OF THIS SECTION IS TO IDENTIFY THE SCOPE OF WORK FOR THE CONTRACTOR AND THE OWNER AND TO PROVIDE INFORMATION REGARDING THE DUTIES AND RESPONSIBILITIES ASSIGNED TO EACH. THE OWNER INTENDS TO EITHER PROVIDE, FURNISH OR INSTALL ITEMS AS INDICATED. THE OWNER WILL CONTRACT WITH SEPARATE CONTRACTORS AND/OR MATERIAL SUPPLIERS FOR ITEMS AS INDICATED. THE CONTRACTOR WILL COORDINATE THIS WORK AS INDICATED WITH SEPARATE CONTRACTORS AND/OR MATERIAL SUPPLIERS. REFER TO PROJECT MANUAL FOR ITEMS PURCHASED BY CONTRACTOR THROUGH OWNER'S NATIONAL ACCOUNT PRICING.

- DEFINITIONS: TERMS ARE DEFINED AS FOLLOWS:
- THE TERM "FURNISH" (IDENTIFIED BY "F") - TO FURNISH, INSTALL, AND CONNECT COMPLETE.
 - THE TERM "FURNISH" (IDENTIFIED BY "F") - TO SUPPLY (ONLY), INCLUDING COST OF DELIVERY TO CURB SITE, TO ANOTHER PARTY FOR THEIR USE AND INSTALLATION.
 - THE TERM "INSTALL" (IDENTIFIED BY "I") - TO DISTRIBUTE, UNCRATE, ASSEMBLE, AND FIX INTO THE INTENDED FINAL POSITIONS, THE INSTALLER TO PROVIDE ALL MISCELLANEOUS HARDWARE AND SUPPLIES REQUIRED TO ANCHOR AND SUPPORT SECURELY, CLEAN UP, AND DISPOSE OF RUBBISH.
 - THE TERM "UNLOAD" (IDENTIFIED BY "U") - TO RECEIVE, UNLOAD, KEEP AN INVENTORY, STORE AS NECESSARY, AND TO DISTRIBUTE TO A DESIGNATED AREA READY FOR UNPACKING.
 - THE TERM "CONNECT" (IDENTIFIED BY "C") - TO BRING ALL UTILITY SERVICES TO POINT OF INSTALLATION AND MAKE FINAL CONNECTIONS OF THE SERVICE(S) TO THE INSTALLED EQUIPMENT, AND PROVIDE MISCELLANEOUS AUXILIARY APPURTENANCES NECESSARY TO MAKE OPERABLE FOR ITS INTENDED USE.

ITEM (CONTRACTOR TO VERIFY THIS LIST WITH OWNER'S REPRESENTATIVE)	OWNER	CONTRACTOR	NOTES
ARCHITECTURAL			
Register Tandems	F, I	C	
Guest Service Desk	F, I	C	
Body Registry Desk	F, I	C	
Special Order Desk	F, I	C	
Interior Sign Graphics	F	I, U	
Corpat. (Ref., Square Tiles and Vestibule Material & Mastic)	F	I, U	
Vinyl Composite Floor Tile-VCT and Mastic	F	I, U	
Vinyl Base	F	I	
Transition Strip	F	I	
Automatic Sliding Doors	F	I	
Impact Doors	F	I	Doors only-frames to remain (Unless noted on A1.0)
Body Changing Table and Safe Stroller	F	I	
Store Fixtures	F, I	C	
Paper Towel Dispenser	F	I	
ELECTRICAL			
Lighting Fixtures	F	I, C, U	Exclude exit & emergency light fixtures
Lamps for all Owner-furnished lighting fixtures	F	I, C, U	Exclude exit & emergency light fixtures
Lighting track & track heads	F	I, C, U	
Interior Illuminated Signs (3 at back & 2 at front)	F	I, C	
Exterior "Letter" Sign Signs	F	I	
Exterior pylon sign	F	I	

- WORK SHALL BE CONDUCTED AFTER NORMAL STORE HOURS AND STORE MUST BE MADE READY FOR RECEIVING DAILY. FUTURE TEAM WILL REMOVE THE STORE FIXTURES IN PREPARATION FOR INSTALLING NEW COMPOSITION TILE AND CARPETING WHERE APPLICABLE. WORK SHALL BE PHASED AS DIRECTED BY OWNER'S REPRESENTATIVE. ELECTRICIAN TO DISCONNECT POWER FROM STORE FIXTURES BEFORE FIXTURE RELOCATION AND RECONNECT AFTER ALL VCT AND OR CARPET IS INSTALLED AND FIXTURE IS SET INTO PLACE. THIS PROCEDURE APPLIES TO THE ENTIRE SALES FLOOR AND RECEIPT AREA. IF AN EXCEPTION, IT NEEDS TO BE FORWARDED BACK UP DAILY BEFORE STORE OPENING.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS IN ORDER TO ASSESS REQUIREMENTS FOR THIS WORK.
- COORDINATE ALL DISCREPANCIES WITH THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PERFORM THE AMOUNT OF WORK REQUIRED TO COMPLETE THE TRADES AS INDICATED.
- REFER TO ALL OTHER DISCIPLINE DRAWINGS FOR ADDITIONAL DEMOLITION WORK. PATCH AND RESTORE CONSTRUCTION AS REQUIRED FOR ALL DISCIPLINE CONSTRUCTION ITEMS. VERIFY AND COORDINATE ALL THE OPENINGS REQUIRED FOR THIS WORK. REFER TO PLANS FOR CUTTING AND PATCHING. PATCH TO MATCH ADJACENT CONDITIONS IN ALL DISTURBED AREAS.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS (W/ EXCEPTION OF SIGN PERMITS WHICH ARE BY OWNER) AND PAY PERMIT FEES. OWNER SHALL REIMBURSE CONTRACTOR FOR BUILDING PERMIT FEE ONLY.
- THE CONTRACTOR SHALL INSPECT THE PREMISES PRIOR TO SUBMITTING BIDS, AND IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED. DEMOLITION DRAWINGS ARE SCHEMATIC IN NATURE, AND MAY NOT INDICATE ALL SPECIFIC ITEMS REQUIRING REMOVAL. COORDINATE ALL DEMOLITION WORK WITH NEW RECEIVING WORK INDICATED ON DRAWINGS.
- FOR WORK DONE DURING NORMAL STORE OPERATING HOURS, THE CONTRACTOR SHALL PROVIDE ALL DUST AND TRAFFIC BARRIERS NECESSARY TO MAINTAIN A CLEAN, SAFE, NEAT & ORDERLY ENVIRONMENT FOR THE GENERAL PUBLIC AND/OR EMPLOYEES.
- THE CONTRACTOR SHALL REMOVE DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT DAILY. STOCK PILING OF DEBRIS IS NOT ALLOWED. THE CONTRACTOR SHALL EMPLOY A LICENSED WASTE HAULING COMPANY FOR THE DISPOSAL OF DEBRIS. COORDINATE THE LOCATION OF DUMPSTERS WITH THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COORDINATE SELECT DEMOLITION REQUIRED FOR THE INSTALLATION OF EQUIPMENT, CONTROLS AND/OR UTILITIES WITH THE OTHER DISCIPLINES INDICATED IN THIS WORK. OVER-CUTTING SHALL NOT BE ALLOWED EXCEPT THE HOLE SIZE INDICATED FOR NEW OPENINGS IN EXISTING CONCRETE FLOORS, MASONRY WALLS, PARTITIONS, OR ROOF, UNLESS OTHERWISE NOTED BY ARCHITECT OR AUTHORIZED BY OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE ACCESS THRU STAGED CONSTRUCTION AREAS VIA CODE COMPLIANT BARRIERS. COORDINATE NATURE OF ACCESS AND LOCATION WITH OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL REPAIR DAMAGE TO ANY EXISTING SURFACES DURING CONSTRUCTION, PROVIDING A CLEAN, SMOOTH APPEARANCE MATCHING ADJACENT CONDITIONS. SCOPE TO BE FINISHED DURING PRE-BID WALK-THROUGH. SALVAGE ALL ITEMS AS INDICATED ON DRAWINGS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE FOR REUSE OR RELOCATION.
- THE CONTRACTOR SHALL CLEAN ALL RELOCATED LIGHT FIXTURES & LAMPS UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL DEVELOP A STAGING AND PHASING PLAN IN COORDINATION WITH THE OWNER'S REPRESENTATIVE.
- ALL LIFE-SAFETY SYSTEMS INCLUDING, BUT NOT NECESSARILY LIMITED TO, MEANS OF EGRESS, SPRINKLER SYSTEM, EXIT SIGNS, ALARM SYSTEM SHALL REMAIN OPERATIONAL FOR GENERAL PUBLIC AND EMPLOYEE OCCUPANCY.
- VERIFY LOCATION AND QUANTITY OF EXISTING FIRE EXTINGUISHERS SO THAT THERE'S A FIRE EXTINGUISHER LOCATED WITHIN 50 FT. WALKING DISTANCE FROM ANYWHERE IN THE BUILDING FOR NFPA 101. SUPPLEMENT WITH NEW (GRADE AND) FIRE EXTINGUISHERS AS NECESSARY OF THOSE LOCATED BY THE FIRE MARSHAL.
- OWNER'S FIXTURE TEAM TO REMOVE OR RELOCATE EXISTING PRE-SALES & SALES FLOOR CONDOLAS.
- ANY MODIFICATION TO THE SPRINKLER SYSTEMS OF FIRE ALARM SYSTEMS WILL REQUIRE SUBMITTAL OF PLANS TO FIRE PREVENTION DEPARTMENT.



SIDE BY SIDE REMODEL

STORE #7815
2403 S SONCY
AMARILLO, TEXAS 79124-2300

INDEX OF DRAWINGS

ARCHITECTURAL	DATES	
	ISSUED	LAST ADD/REV
A0.1 COVER SHEET	04/20/07	--
C1.0 SITE PLAN	04/20/07	--
D1.0 DEMOLITION PLAN	04/20/07	--
A1.0 FLOOR PLAN	04/20/07	--
A1.1 FLOOR FINISH PLAN	04/20/07	--
A1.2 ENLARGED PLANS & INTERIOR ELEVATIONS	04/20/07	--
A1.3 ENLARGED PLANS & INTERIOR ELEVATIONS	04/20/07	--
A1.4 INTERIOR ELEVATIONS & DETAILS	04/20/07	--
A2.0 EXTERIOR ELEVATIONS	04/20/07	--
A2.1 WALL SECTIONS	04/20/07	--
A2.2 WALL SECTIONS	04/20/07	--
A2.3 WALL SECTIONS	04/20/07	--
A2.4 DETAILS	04/20/07	--
A3.0 INTERIOR DETAILS	04/20/07	--
A4.0 DOOR SCHEDULE & DETAILS	04/20/07	--

OWNER LAYOUT PLANS

R01 SIDE BY SIDE FIXTURE PLAN (FOR INFORMATION ONLY)	03/20/07	--
R01.1 IN RACK POWER & LIGHTING PLAN (FOR INFORMATION ONLY)	03/20/07	--
R01.2 PHOTO & SIGN PLAN (FOR INFORMATION ONLY)	03/20/07	--

STRUCTURAL

S1.0 STRUCTURAL PLAN AND DETAILS	04/20/07	--
S2.0 STRUCTURAL DETAILS	04/20/07	--
S3.0 STRUCTURAL DETAILS	04/20/07	--

MECHANICAL

M1.0 MECHANICAL PLAN & SCHEDULES	04/20/07	--
M2.1 ENLARGED PLUMBING PLANS & SCHEDULES	04/20/07	--
M2.2 ENLARGED MECH. PLANS & SCHEDULES	04/20/07	--

FIRE PROTECTION

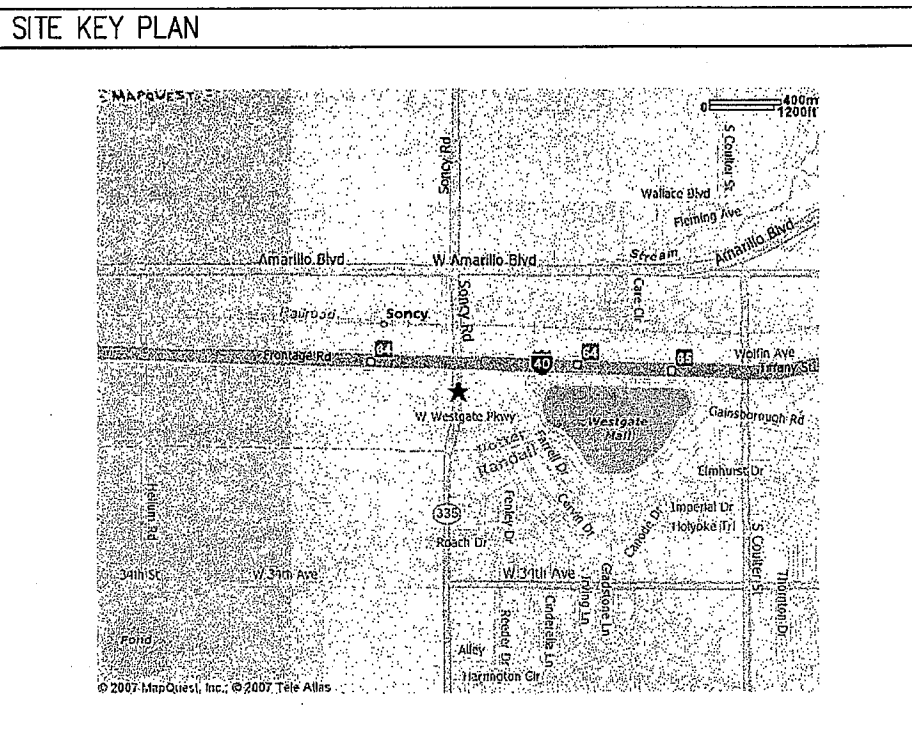
FP1.0 FIRE SPRINKLER PLAN	04/20/07	--
FA1.0 FIRE ALARM PLAN	04/20/07	--
FA2.0 FIRE ALARM NOTES & DETAILS	04/20/07	--

ELECTRICAL

E1.0 MAIN POWER PLAN	04/20/07	--
E2.0 MAIN LIGHTING PLAN	04/20/07	--
E2.1 RELOCATED LTO/DEMOLISHED LTO	04/20/07	--
E3.0 RACK POWER & LIGHTING	04/20/07	--
E4.0 ENLARGED PLANS & DETAILS	04/20/07	--
E5.0 PANEL SCHEDULES	04/20/07	--
E6.0 PANEL SCHEDULES	04/20/07	--

PROJECT TEAM

OWNER: BABIES 'R' US ONE GEOFFREY WAY WAYNE, NJ 07470	STRUCTURAL: STRUCTURAL ASSOCIATES, INC. 82 CHANDLER AVE., SUITE 100 GRAND RAPIDS, MI 49503 CONTACT: DRK BUTKE PHONE:(616) 457-8100
CONSTRUCTION PROJECT MANAGER (CPM): TOYS 'R' US 702 WARD RD. LEES SUMMIT, MO 64051 PHONE:(816) 308-2884 CELL: 551.285.9724 NAME: MARK SCHOTZHAUER	MECHANICAL ENGINEER: PAEP ARCHITECTURE ENGINEERING I, INC. 1811 4 MILE ROAD, NE GRAND RAPIDS, MI 49525 PHONE: (616) 361-2684 CONTACT: BRIAN PEEBLY
ARCHITECT: PAEP ARCHITECTURE ENGINEERING I, INC. 1811 4 MILE ROAD, NE GRAND RAPIDS, MI 49525 PHONE: (616) 361-2684 CONTACT: DAVE GRAYNOR	ELECTRICAL ENGINEER: PAEP ARCHITECTURE ENGINEERING I, INC. 1811 4 MILE ROAD, NE GRAND RAPIDS, MI 49525 PHONE: (616) 361-2684 CONTACT: SHAWN GRAYNOR



CODE DATA SUMMARY

JOB NAME: TOYS 'R' US #815	
LOCATION: 2403 S SONCY ROAD AMARILLO, TX 79124-2300	
E. EXITING REQUIRED:	
SALES AREA: 1,241 PERSONS x .15' PER PERSON	186.15'
TOTAL REQUIRED	
PRE-SALES AREA: 27 PERSONS x .15' PER PERSON	4.05'
TOTAL REQUIRED	
F. EXITING PROVIDED:	
EXITING FROM SALES AREA:	EGRESS WIDTH
DOOR 01, 02	48"
DOOR 03, 04	42"
DOOR 05, 07, 08	60"
DOOR 09	44"
DOOR 16	44"
DOOR 17	44"
TOTAL EGRESS WIDTH PROVIDED	236" > 186.15"
EXITING FROM PRE-SALES AREA:	
DOOR 10	32"
DOOR 11	48"
DOOR 18	44"
DOOR 19	44"
TOTAL EGRESS WIDTH PROVIDED	168" > 4.05"
DOORS #01, #02, #03, #04, #05, #07 & #08 HAVE BREAKAWAY FEATURES THAT ENABLE THEM TO PROVIDE AN EGRESS WIDTH GREATER THAN THEIR NET SLIDING OPENING. THEIR EMERGENCY EGRESS WIDTHS IN THE FULL BREAKAWAY MODE ARE: 55" (DOOR #01, #02), 55" (DOOR #03, #04), AND 126.25" (DOOR #05, #07, #08).	
A. BUILDING CRITERIA:	
BUILDING CODE: 2003 INTERNATIONAL BUILDING CODE	
BUILDING USE: RETAIL SALES	
OCCUPANCY: MERCANTILE	
CONSTRUCTION TYPE: II B	
B. ALLOWABLE AREA:	
BASE AREA	12,500 SQ. FT.
AUTOMATIC SPRINKLER INCREASE (PER SECTION 506.3)	37,500 SQ. FT.
	50,000 SQ. FT.
C. BUILDING AREA:	
SALES AREA	35,289 SQ. FT.
PRE-SALES, RECEIVING AREA, & POWER RM.	8,338 SQ. FT.
OFFICE AREA	386 SQ. FT.
TRAINING RM., BREAKROOM, MOTHERS RM.	893 SQ. FT.
TOTAL (INSIDE FACE OF EXTERIOR WALLS)	44,884 SQ. FT.
D. OCCUPANT LOADING:	
SALES AREA AT 30 SQ. FT./PERSON	1,178
PRE-SALES, RECEIVING, & POWER RM. AT 300 SQ. FT./PERSON	28
OFFICE AREA AT 100 SQ. FT./PERSON	4
TRAINING RM., BREAKROOM, MOTHERS RM. AT 15 SQ. FT./PERSON	60
TOTAL PEOPLE	1,270
E. EXITING REQUIRED:	
SALES AREA: 1,241 PERSONS x .15' PER PERSON	186.15'
TOTAL REQUIRED	
PRE-SALES AREA: 27 PERSONS x .15' PER PERSON	4.05'
TOTAL REQUIRED	
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G. MISCELLANEOUS	
FULLY SPRINKLERED	
TRAVEL DISTANCE DOES NOT EXCEED 250'	

Constr. Doc & Revisions

No	Date	Description
04/20/07		ISSUED FOR BIDS & PERMITS

Prototype Updates (FOR REFERENCE ONLY)

No	Date	Description
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PROJ. NO.: 52251314
CHECKED BY: DAB

PAEP Architecture Engineering I, Inc.

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616 361 2684 VOICE
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TOYS 'R' US BABIES 'R' US

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Wayne, NJ 07470-2030
(973) 617-3500

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Location: AMARILLO, TX
2403 S SONCY

Drawing Title: COVER SHEET

Scale: AS NOTED Date: 04/20/07

Sheet No. A0.1