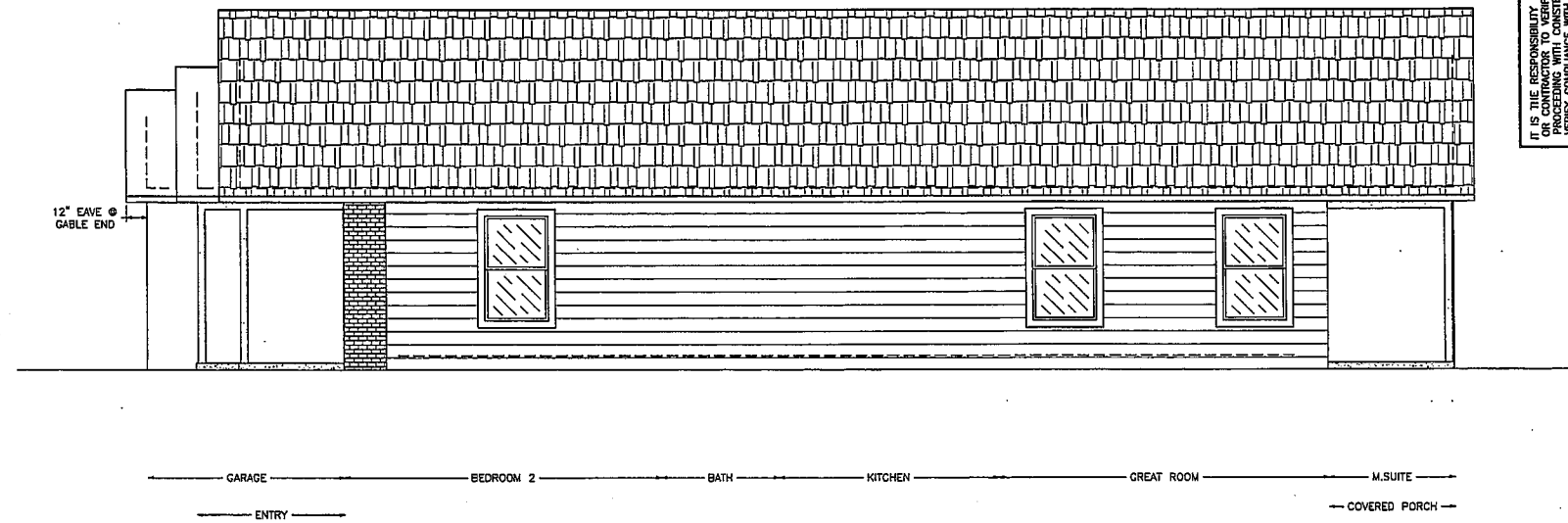
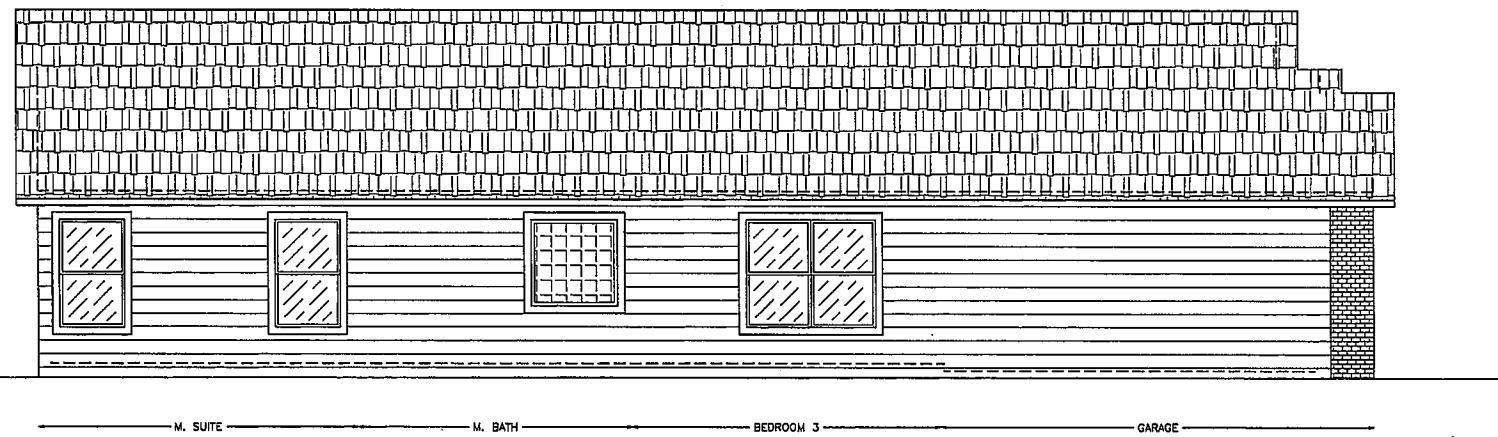


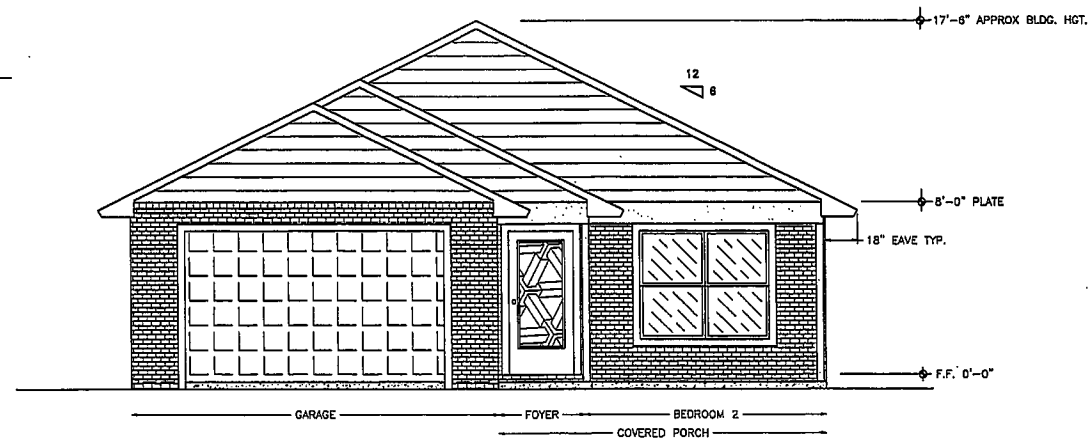
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION

GENERAL NOTES:

BRICK VENEER FRONT w/
VINYL SIDING @ SIDES & REAR
ON 2x4 WOOD FRAME
ARCHITECTURAL SHINGLES
ROOF PITCH 8:12
8" PLATE HEIGHT HOUSE
2X6 PLUMBING WALLS NOT SHOWN
HOUSE F.F. ELEV. SHALL BE 8" ABV. GRADE (MIN)
(TYPICAL ALL AROUND)
KNOCKDOWN CEILINGS
CONCRETE PARKING & SIDEWALKS NOT SHOWN

FOOTAGE

LIVING	1411'
GARAGE	311'
PORCH FRONT	101'
TOTAL H&C:	1411'
TOTAL SLAB:	1938'
TOTAL UNDER ROOF:	1938'

IT IS THE RESPONSIBILITY OF THE HOMEOWNER/OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES.

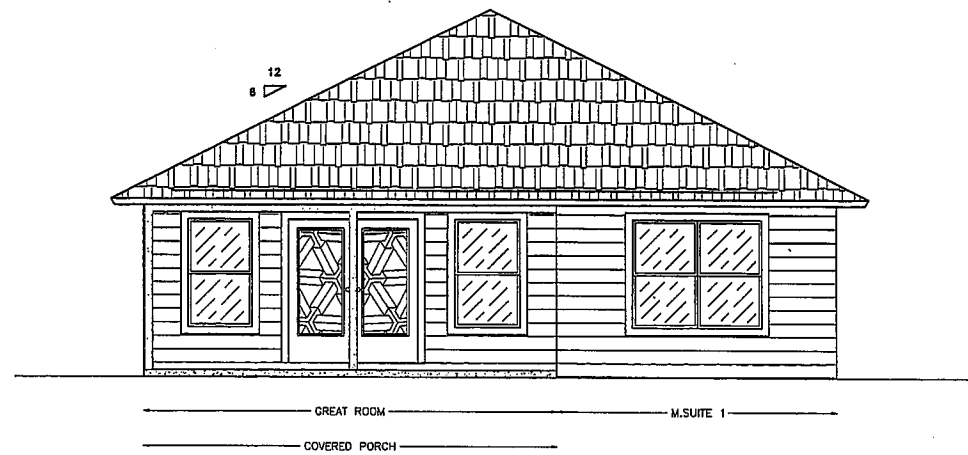
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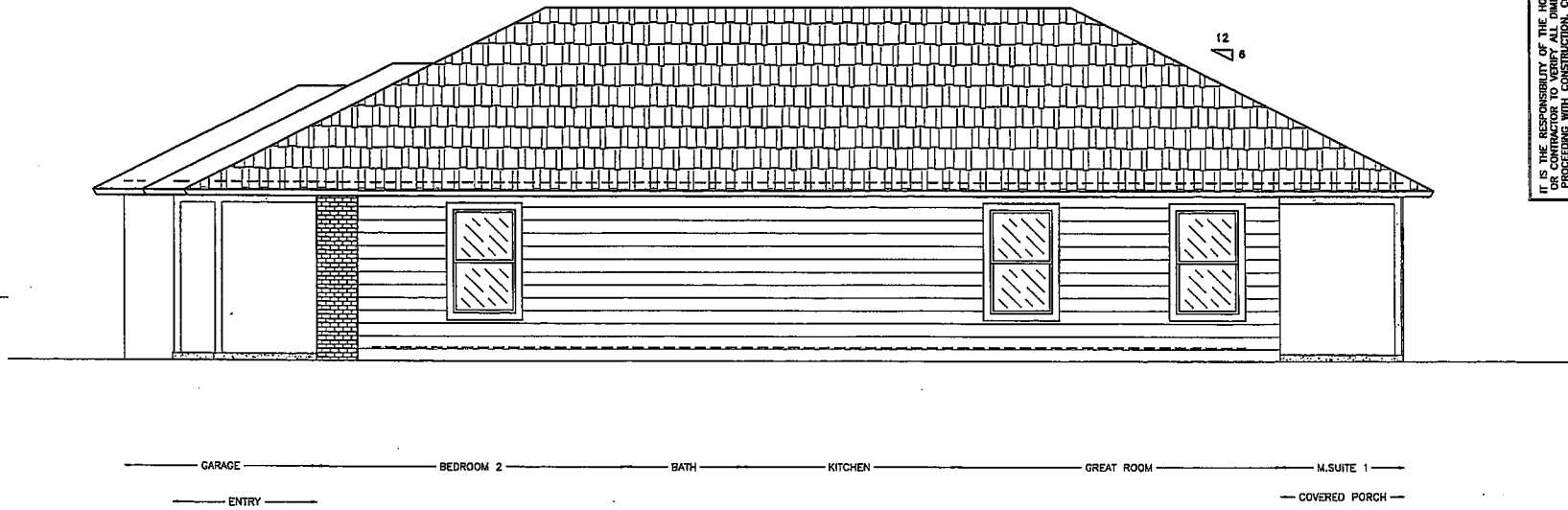
location

the
LeBENNIE
for
PRESTIGE DESIGN BUILDERS LLC

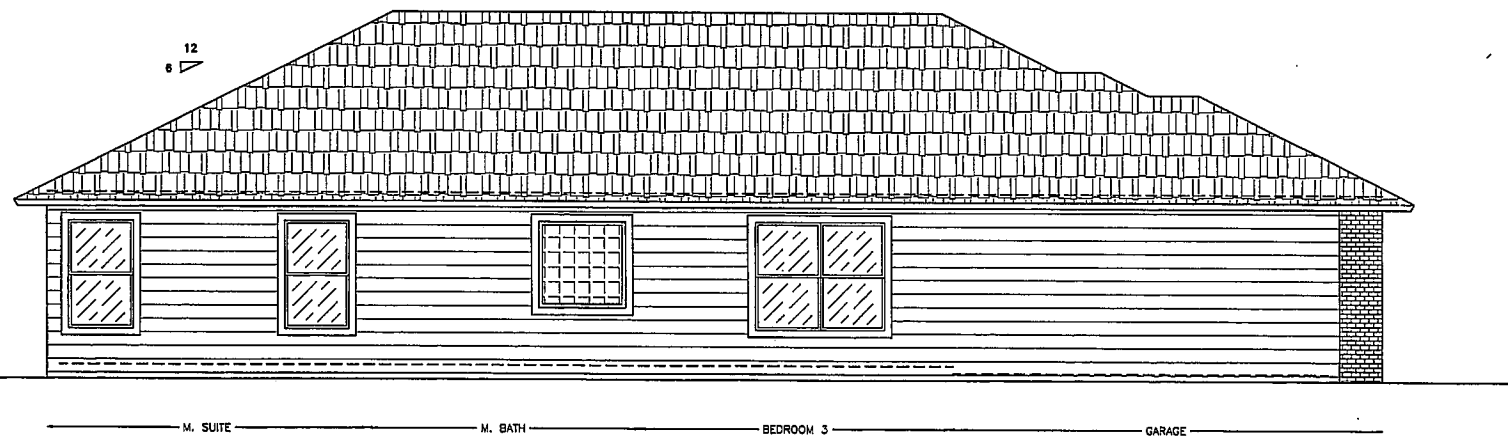
SCALE: AS NOTED
date: FEB. 19, 2007
drawn by: WILLO
PLANS UNLIMITED
revised: 3-5-07 WILLO
file name: BRON-2



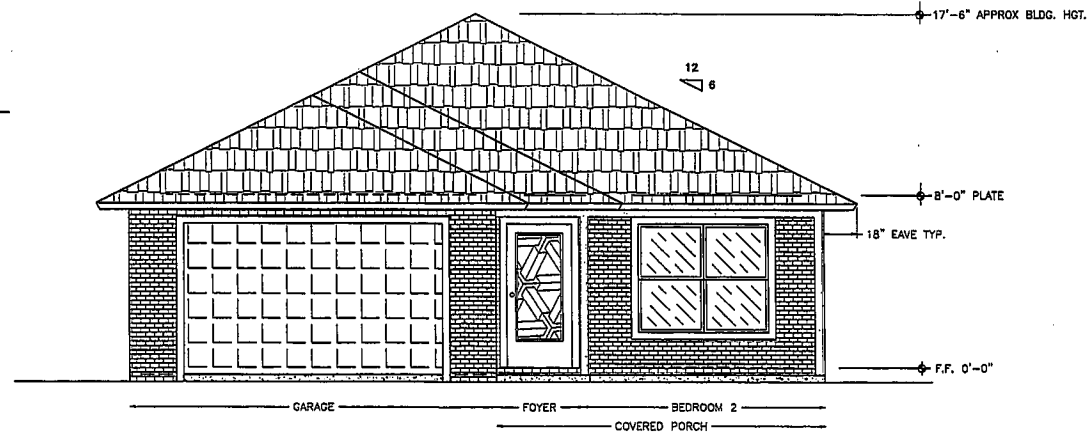
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION

GENERAL NOTES:

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KNOCKDOWN CEILINGS
CONCRETE PARKING & SIDEWALKS NOT SHOWN

FOOTAGE

LIVING 1411'
GARAGE 311'
PORCH FRONT 101'

TOTAL H&C: 1411'
TOTAL SLAB: 1938'
TOTAL UNDER ROOF: 1938'

IT IS THE RESPONSIBILITY OF THE HOMEOWNER/BUILDER TO VERIFY ALL DIMENSIONS AND MATERIALS TO BE USED IN CONSTRUCTION. CONTRACTOR SHALL VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES.

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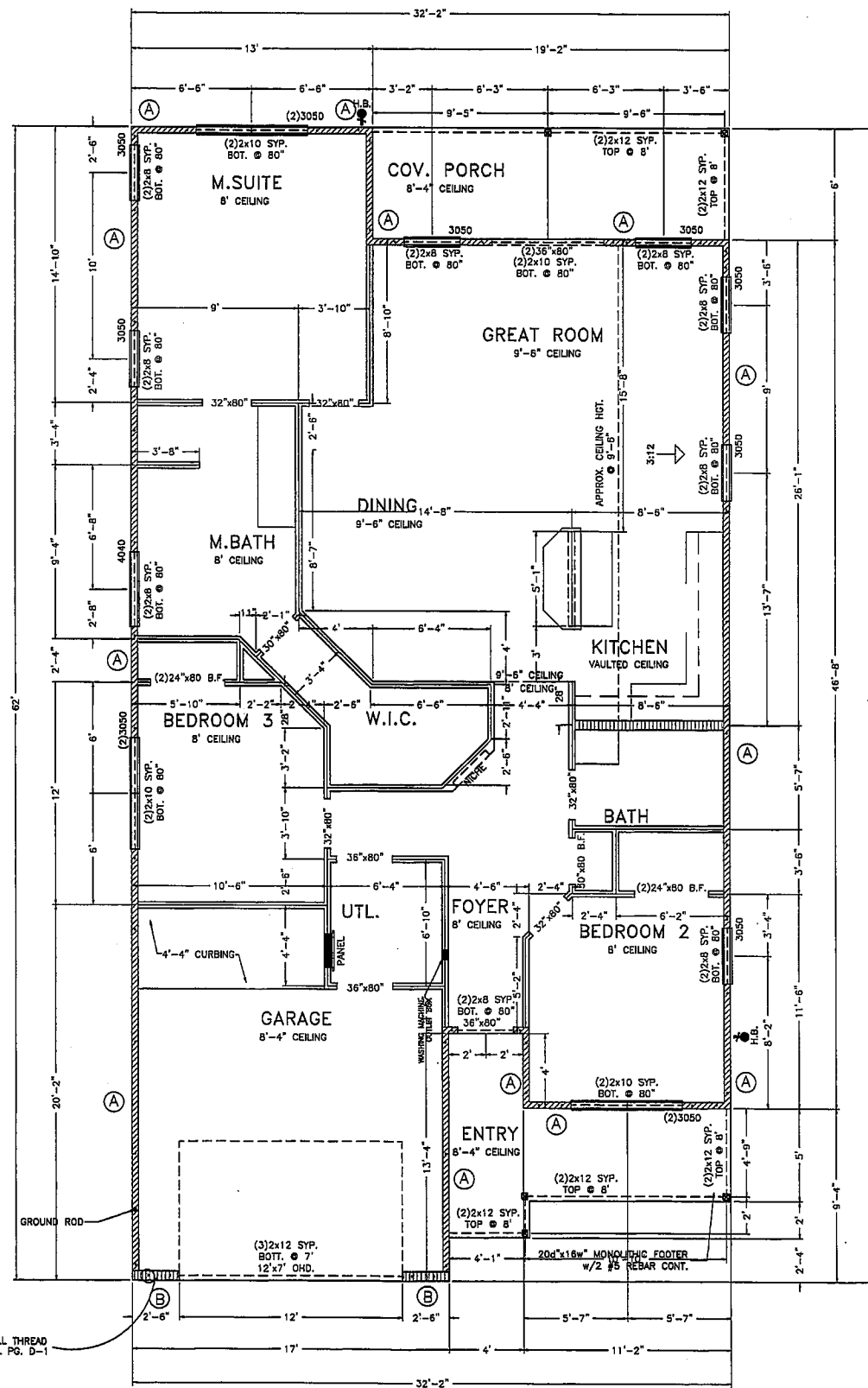
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location

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for
PRESTIGE DESIGN BUILDERS LLC

SCALE: AS NOTED
DATE: FEB. 19, 2007
DRAWN BY: WILLO
PLANS UNLIMITED
REVISED: 3-5-07, WILLO
FILE NAME: BRON-2



WALL FRAMING PLAN
1/4" = 1'-0"

TABLE FOR SHEAR WALLS FRAMING
(GROUND FLOOR)

THE SHEAR WALLS TABLE WAS ESTABLISHED ASSUMING THE FOLLOWING CRITERIA UNLESS OTHERWISE NOTED IN THE TABLE:
 A) WOOD SHEATHING TO STUDS NAILING SHALL BE 8d COMMON NAILS.
 B) GYPSUM BOARD TO STUDS NAILING SHALL BE 5d AND 6d COLLAR NAILS FOR 1/2" AND 5/8" THICK BOARD RESPECTIVELY.
 C) SOLE PLATE-CONCRETE SLAB ANCHORS SHALL BE 1/2" x 8" EPOXY GROUDED BOLTS, & 1/2" STRONGBOLT SYSTEM AS PER DETAIL.

DESIGNATION	REQUIRED SHEATHING	SINGLE OR DOUBLE SHEATHING	SHEATHING TO STUDS NAIL SPACING
(A) 2X4 WOOD FRAME WALL @ 16" O.C.	7/16" OSB (BLOCKED)	SINGLE	4" / 8"
(B) 2X6 WOOD FRAME WALL @ 16" O.C.	7/16" OSB (BLOCKED)	SINGLE	4" / 8"

NOTE: ALL EXTERIOR WALLS SHALL BE SHEAR WALLS

FOOTAGE

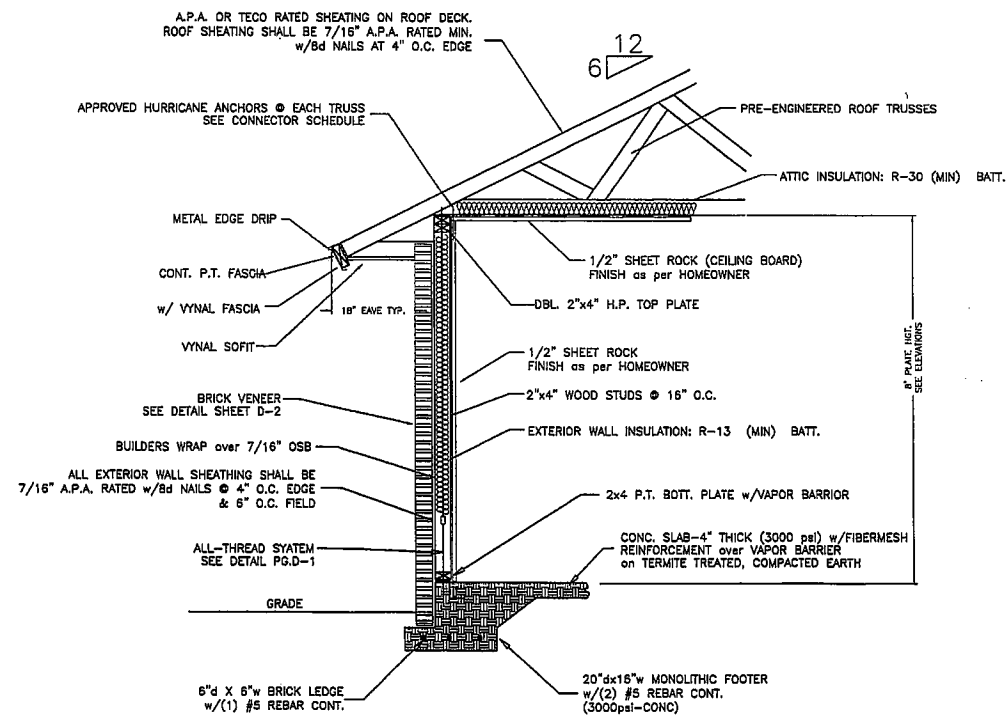
LIVING	1411'
GARAGE	311'
PORCH FRONT	101'
TOTAL H&C:	1411'
TOTAL SLAB:	1938'
TOTAL UNDER ROOF:	1938'

GENERAL NOTES:

- BRICK VENEER FRONT w/ VINYL SIDING @ SIDES & REAR ON 2x4 WOOD FRAME
- ARCHITECTURAL SHINGLES ROOF PITCH 6:12
- 8' PLATE HEIGHT HOUSE 2X6 PLUMBING WALLS NOT SHOWN
- HOUSE F.F. ELEV. SHALL BE 6" ABV. GRADE (MIN) (TYPICAL ALL AROUND)
- KNOCKDOWN CEILINGS
- CONCRETE PARKING & SIDEWALKS NOT SHOWN

LEGEND

- 2x6 @ 16" O.C. SPF#2 STUD FRAME WALLS
- 2x4 @ 16" O.C. SPF#2 STUD FRAME WALLS
- 2x4 @ 16" O.C. SPF#2 INTERIOR WALLS
- 2x4 @ 16" O.C. 42" IN HGT. w/COUNTER or BOOKSHELF TOP
- BEAMS & HEADERS AS NOTED
- 1/2" THREADED ROD FROM FOUNDATION TO DOUBLE TOP PLATE (8" EMBEDMENT)



TYPICAL WALL SECTION @ BRICK VENEER
N.T.S.

IT IS THE RESPONSIBILITY OF THE HOMEOWNER/BUILDER OR CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES.

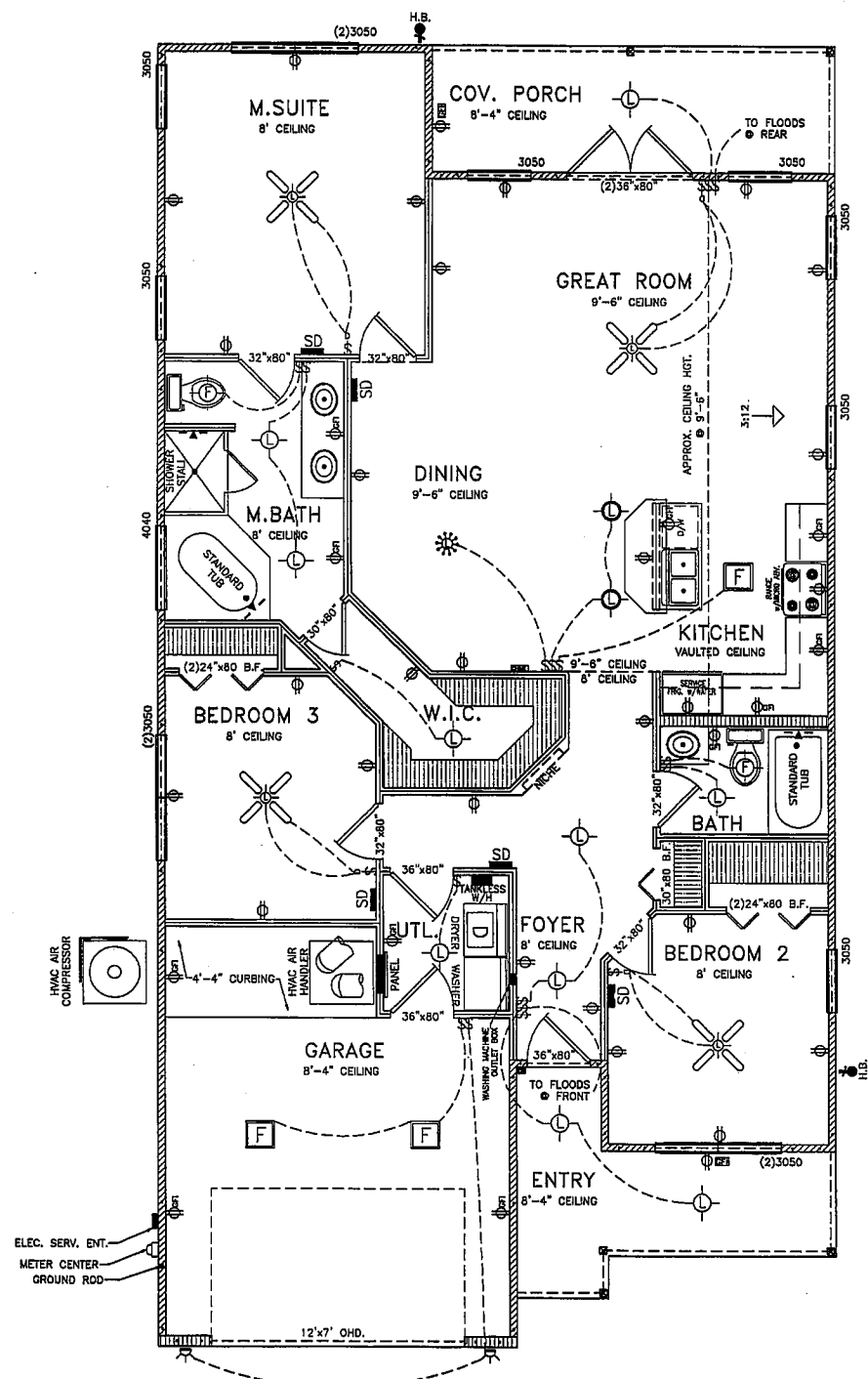
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SHEET: C-4

location

the **LeBENNIE** for **PRESTIGE DESIGN BUILDERS LLC**

SCALE: AS NOTED
 date: FEB. 19, 2007
 drawn by: WILLID
 PLANS UNLIMITED
 revised: 3-5-07 WILLID
 file name: BRON-2



FLOOR PLAN NOTES & ELECTRICAL

1/4" = 1'-0"

ELECTRICAL LEGEND

- ⊕ 110 OUTLET WALL MOUNT
- ⊕ GF 110 OUTLET - GROUND FAULT
- ⊕ GF 110 OUTLET - GROUND FAULT (W.P. BOX)
- ⊕ FD 110 OUTLET - FLOOR OUTLET
- ⊕ S SWITCH SINGLE POLE
- ⊕ DS SWITCH DOUBLE POLE
- ⊕ S 3-WAY SWITCH
- ELECTRICAL SERVICE ENTRANCE
- ⊕ METER ENCLOSURE
- SERVICE PANEL
- ⊕ GROUND ROD
- TANKLESS WATER HEATER
- ⊕ DBL. BULB HEAT LAMP
- ⊕ FAN & LIGHT COMBO
- ⊕ RECESSED CAN LIGHT
- ⊕ SURFACE MOUNT LIGHT/EXHAUST FAN COMBO VENT TO OUTSIDE AIR
- ⊕ WALL MOUNT LIGHT FIXTURE
- ⊕ SURFACE MOUNT LIGHT FIXTURE
- ⊕ SURFACE MOUNT FLOURESANT
- ⊕ FLOOD LIGHT DUAL HEAD
- ⊕ SUSPENDED LIGHT FIXTURE
- ⊕ CEILING FAN/LIGHT COMBO
- ⊕ DOOR BELL CHIME
- ⊕ DOOR BELL
- ⊕ SMOKE DETECTOR WALL MOUNT

LEGEND

- ▤ 2x6 @ 16" O.C. SPF#2 STUD FRAME WALLS
- ▥ 2x4 @ 16" O.C. SPF#2 STUD FRAME WALLS
- ▦ 2x4 @ 16" O.C. SPF#2 INTERIOR WALLS
- ▧ 2x4 @ 16" O.C. 42" IN HGT. w/COUNTER or BOOKSHELF TOP
- BEAMS & HEADERS AS NOTED
- 1/2" THREADED ROD FROM FOUNDATION TO DOUBLE TOP PLATE (8" EMBEDMENT)

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ELECTRICAL NOTES:

- 1) NATIONAL ELECTRICAL CODE (2005)
- 2) ALL RECEPTABLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM (GFI) AND AS NOTED ON THE DRAWINGS.
- 3) OUTLET BOXES IN WALL BETWEEN LIVING AREA AND THE GARAGE SHALL BE METAL OR U.I. APPROVED PLASTIC.
- 4) SMOKE DETECTORS SHALL BE PLACED NO MORE THAN 12" FROM CLG. AND 3'-0" FROM DUCT OPENINGS. DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED. PROTECT ALL SLEEPING AREAS AS PER CODE.
- 5) RECEPTABLES SHALL BE SPACED ACCORDINGLY SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM ANY OUTLET. NO SPACES FURTHER APART THEN 12" UNLESS OTHERWISE NOTED OR PER ANY SPECIFIC CODES.
- 6) SWITCH PLATED TO BE PLACED AT 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH (TYPICAL).
- 7) AT LEAST TWO 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED TO SERVE THE KITCHEN NOOK AND DINING AREAS. THESE CIRCUITS ARE TO HAVE NO OTHER OUTLETS. CONFORM TO NEC ART 220-3(C).
- 8) ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18'-0" FROM ALL SHELVING.
- 9) PROVIDE 200A ELECTRICAL SERVICE PANEL WITH METER EQUIPMENT.
- 10) PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.
- 11) PROVIDE OPTIONAL ELECTRICAL SWITCH TO MASTER BATH TUB (OR AS REQUIRED) FOR WHIRLPOOL HOOK-UP PER OWNER.
- 12) ALL BRANCH CIRCUITS THAT SUPPLY 125-volt, SINGLE-PHASE 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S)

IT IS THE RESPONSIBILITY OF THE HOMEOWNER/BUILDER TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CONTRACTOR SHALL VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES.

PLANS BY:
PLANIS UNLIMITED
(904) 314-0674

SHEET:
C-5

location

the LeBENNIE for
PRESTIGE DESIGN BUILDERS LLC

SCALE: AS NOTED
date: FEB. 19, 2007
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revised: 3-5-07 WILLD
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