

RESPONSIBILITY SCHEDULE		OWNER	CONTRACTOR	ARCHITECT	MECHANICAL	ELECTRICAL	PLUMBING	PAINTING	FINISHES	LANDSCAPE	DEMOLITION	FOUNDATION	ROOFING	MECHANICAL	ELECTRICAL	PLUMBING	PAINTING	FINISHES	LANDSCAPE	DEMOLITION	FOUNDATION	ROOFING
<b>FLOOR CONSTRUCTION</b>																						
CONCRETE FILL																						
CONCRETE SLAB																						
CUTTING & PATCHING																						
<b>FLOOR COVERING</b>																						
CARPET (BLUE DOWN)																						
VINYL COMPOSITION TILE																						
WOOD FLOOR																						
CERAMIC TILE																						
WALL BASE																						
CORNER GUARDS/WALL PANELS																						
FRP @ PRESS AREA & TOILET																						
<b>DEMISING PARTITIONS</b>																						
METAL STUDS																						
DRYWALL																						
<b>INTERIOR PARTITIONS</b>																						
FRAMING & GYP. BO.																						
STOREFRONT FRAMING & FINISH																						
SERVICE DOOR																						
DOORS, FRAMES & HARDWARE																						
VENEER PANELS																						
<b>WOOD / CARPENTRY</b>																						
BISCUING (AS REQUIRED)																						
ROUGH CARPENTRY																						
LUMBER & PLYWOOD																						
CROWN MOULDING																						
<b>PAINTING WORK</b>																						
STORE INTERIOR/EXTERIOR																						
<b>CEILING</b>																						
ACOUSTICAL TILE / GYP. BO.																						
GYP. BO. SOFFITS																						
<b>STOREFRONT</b>																						
STOREFRONT SYSTEM & GLAZING																						
ENTRY DOORS & HARDWARE																						
TEMP. BARRICADE																						
<b>ELECTRICAL</b>																						
MAIN SERVICE CONNECTION																						
SUB PANELS, COMPLETE WIRING & OUTLETS																						
EMERGENCY LIGHTING & EXIT SIGNS																						
SIGN OUTLET WIRING																						
LIGHT FIXTURES																						
SPEAKERS/AUDIO																						
P.O.S. CABLE & CONNECTIONS																						
TEL. & DATA CONNECTION																						
WIRING AT PRESS AREA																						
<b>MECHANICAL (HVAC)</b>																						
DUCTWORK, DAMPERS & GRILLES																						
EQUIPMENT																						
<b>PLUMBING</b>																						
WATER & SEWER STUDS/INS																						
ROUGH-IN																						
FIXTURES & WATER HEATER																						
ACCESSORIES																						
GRAB BARS																						
RESTROOM MIRRORS																						
<b>TAILOR SHOP</b>																						
TAILOR EQUIPMENT																						
PLUMBING CONNECTIONS (STRAW, WATER)																						
MECHANICAL CONNECTION																						
STEAM VENTILATION/CHASIST																						
ELECTRICAL CONNECTIONS																						
PRESS PAN																						
<b>FIRE PROTECTION</b>																						
SPRINKLER MAIN																						
SPRINKLER SYSTEM																						
FIRE EXTINGUISHERS																						
FIRE ALARM SYSTEM																						
<b>SIGNS &amp; FURNISHINGS</b>																						
INTERIOR SIGNS																						
EXTERIOR STOREFRONT SIGN																						
FURNITURE/FIXTURES																						
REVEE WALL STANDARDS																						
GRAPHIC PANEL CABLES																						
STOCKROOM SHELVING																						
MIRRORS																						
BACK COUNTER/CASHWRAP																						
REVEE BRACKET																						
<b>MISC. ITEMS</b>																						
SECURITY SYSTEM																						
PERMIT																						
DUMPSTER																						
ROOF WORK																						
DEMOLITION																						
WALK-OFF MAT																						
<b>CLOSE-OUT</b>																						
CLEANING																						

**RESPONSIBILITY SCHEDULE**

- THE BID, AND ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL AND STATE BUILDING CODES, ORDINANCES & BUILDING INSPECTIONS AND BE ENFORCED BY THE CONTRACTORS AT ALL TIMES.
- GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL PROVIDE EVIDENCE OF WORKMAN'S COMPENSATION UPON SUBMITTING BID. UPON AWARD OF CONTRACT, CONTRACTOR SHALL SHOW EVIDENCE THAT THE TENANT IS NAMED AS AN ADDITIONAL INSURED.
- BY SUBMITTING A BID, CONTRACTOR ASSERTS THAT HE IS FAMILIAR WITH THE SITE, ALL EXIST. CONDITIONS & THE TENANT HANDBOOK (IF ANY).
- CONTRACTOR SHALL PROVIDE ALL FLOOR LEVELING, PATCHING, AND REPAIRS AS REASONABLY REQUIRED BY THE SCOPE OF WORK. "REPAIRS" INCLUDE, BUT ARE NOT LIMITED TO, WORK REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION BETWEEN NEW AND EXIST. SPACES, AND TO PREPARE EXIST. SURFACES FOR NEW FINISHES.
- JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT HIS EXPENSE IN LEGAL MANNER.
- CONTRACTOR SHALL VERIFY BUILDING DEPARTMENT PROCEDURE FOR OBTAINING ALL PERMITS PRIOR TO SUBMITTING BIDS. CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS AND / OR FEES REQUIRED BY PUBLIC AUTHORITIES AND / OR UTILITY COMPANIES AND PAY ALL TEMPORARY POWER COSTS. ANY TIE-IN OR INSPECTION FEES TO BE INCLUDED IN BID. CONTRACTOR TO VERIFY IF WATER OR OTHER METERS ARE REQUIRED BY LANDLORD, OR UTILITY, AND ARE INCLUDED IN BID.
- ALL WORK SHOWN ON THESE DRAWINGS IS TO BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL USE ONLY EXPERIENCED CRAFTSMEN SKILLED IN THE DUTIES WHICH THEY ARE TO PERFORM ON THIS PROJECT.
- GENERAL CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE WITH LANDLORD'S SITE REPRESENTATIVE.
- DURING CONSTRUCTION, G.C. SHALL PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS REQD. BY THE LOCAL FIRE DEPT. FIELD INSPECTOR.
- PRIOR TO COMPLETION OF CONSTRUCTION G.C. SHALL PROVIDE & MAINTAIN FIRE EXTINGUISHERS AND MISC. ITEMS PER TENANT'S OPERATIONS DEPT. OR AS DIRECTED BY LOCAL BUILDING INSPECTORS.
- WHERE NEW CONSTRUCTION IS TO BE SUSPENDED FROM THE EXISTING STRUCTURE, CONTRACTOR SHALL FIRST VERIFY THAT THE BUILDING STRUCTURE HAS THE CAPACITY TO SUPPORT SUCH NEW ASSEMBLIES. REPORT INADEQUATE STRUCTURE TO ARCHITECT.
- PROVIDE AND/OR MAINTAIN FIRE RATED ASSEMBLIES WHERE SHOWN, OR REQUIRED.
- ANY ROOF PENETRATIONS SHALL BE APPROVED IN WRITING BY THE LANDLORD. IN THE EVENT THE LANDLORD REQUIRES THE PENETRATIONS TO BE MADE BY THE LANDLORD'S CONTRACTOR, THE GENERAL CONTRACTOR SHALL BEAR SUCH EXPENSE UNLESS OTHERWISE AGREED TO IN WRITING. ROOF PENETRATIONS MUST BE BY LANDLORD'S ROOFING CONTRACTOR.
- GENERAL CONTRACTOR SHALL BEFORE EXACT TOTAL SQUARE FOOTAGE OF LEASE SPACE & A DIAGRAM OF TENANT LEASE LINE BOUNDARY WITH DIMENSIONS, TO TENANT WITHIN SEVEN (7) DAYS OF COMMENCING WORK.
- GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN TELEPHONE SERVICE AT THE JOB SITE THROUGHOUT CONSTRUCTION PERIOD. TELEPHONE SHALL BE ORDERED WHEN CONTRACT IS SIGNED.
- GENERAL CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION BARRICADES AND/OR CANOPIES AS REQUIRED BY THE LOCAL AUTHORITIES OR AS NECESSARY FOR PEDESTRIAN SAFETY.
- GENERAL CONTRACTOR SHALL VERIFY WITH LANDLORD REQUIREMENTS TO THE INTO WALL FIRE ALARM SYSTEM (SMOKE DETECT. SYSTEM IF INCLUDED) AND REMOVE WHO'S TO FURNISH ALL REQUIRED EQUIPMENT. ALL CONTRACTOR COSTS ARE TO BE COVERED IN BID.
- ALL SPRINKLER WORK MODIFICATIONS SHALL BE COORDINATED WITH ALL OTHER TRADES ON SITE. CONTRACTOR IS RESPONSIBLE FOR ALL SPRINKLER WORK, ENGINEERING AND HYDRAULIC CALCULATIONS FOR ALL UPGRADES AND MODIFICATIONS, INCLUDING ALL RISKS AND HEADS. ALL SPRINKLER WORK SHALL ACCOMMODATE TENANT IMPROVEMENTS PER APPROVED CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ANY AND ALL ACCESS PANELS AS REQUIRED.
- GENERAL CONTRACTOR SHALL COORDINATE THE RETURN OF ALL SURPLUS JOS. A. BANKS PROVIDED MATERIALS, PER TENANT REPRESENTATIVE'S INSTRUCTIONS.
- ABSOLUTELY NO ASBESTOS OR ASBESTOS CONTAINING MATERIALS (ACM) SHALL BE USED IN THE CONSTRUCTION OF THIS PROJECT. G.C. SHALL NOTIFY ARCHITECT OF MATERIALS SUSPECTED TO BE A.C.M.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE AND INVENTORY JOS. A. BANK SUPPLIED CONSTRUCTION ITEMS, CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION AND PROTECTION OF ALL MATERIALS AND FIXTURES ON THE JOB SITE. CONTRACTOR SHALL ACCOUNT FOR ALL MATERIALS SHIPPED TO JOB SITE. IF ANY MATERIALS ABOVE ON JOB SITE DAMAGED CONTRACTOR SHALL NOTE ON BILL OF LADING AND NOTIFY CARRIER OFFICE THAT THEY NEED TO INSPECT DAMAGE. FAILURE TO DO SO SHALL HOLD GENERAL CONTRACTOR RESPONSIBLE.
- ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT & ANY LOCAL ACCESSIBILITY CODES SHALL BE ADHERED TO WITHIN CONFLICT, THE MORE STRINGENT OF THE TWO STANDARDS SHALL GOVERN.
- CONTRACTOR SHALL USE GYPSUM BOARD OF THICKNESS NOTED AND WITH TAPERED EDGES. ALL OUTSIDE CORNERS SHALL HAVE METAL SCREED. CASING BEADS OR CORNER BEADS AS REQUIRED. TAPE ALL JOINTS, BEAD AND SAND SMOOTH IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS FOR SMOOTH SURFACE TO RECEIVE PAINT. SCREW GYPSUM BOARD TO BANKS.
- ALL CONDITIONS DESCRIBED IN GEN. NOTES SHALL BE IN COMPLIANCE WITH THE LOCAL CODES AND REGULATIONS.
- INSTALL ALL WORK WITH APPROVED FASTENERS, AS REQUIRED TO HOLD WORK IN PLACE AND TRUE TO LINE. FASTENERS TO BE SET BELOW THE FINISHED SURFACES, FILL HOLES WITH WOOD PUTTY OR OTHER APPROVED MATERIAL, SAND FLUSH WITH THE SURFACE SO AS TO BE UNDETECTABLE IN THE FINISH. BUNG HALL WHENEVER POSSIBLE, ROUND ALL EXPOSED EDGES OF ASSEMBLIES TO 1/8" RADIUS.
- ALL EXPOSED WOODWORKS TO RECEIVE PAINT FINISH SHALL BE Sanded SMOOTH PRIOR TO FINISHING WITH SAN PAPER. NO COARSER THAN NO. 80. FILL OPEN JOINTS AND SAND SMOOTH AND FLUSH.
- PROVIDE ALL NECESSARY SHIMS AND FILLERS. CONCEAL ALL FASTENERS UNLESS OTHERWISE NOTED.
- ALL PAINT, PRIMERS AND SEALERS TO BE SUPPLIED WITH LABOR.
- SURFACES TO RECEIVE PAINT SHALL BE PAINTED ONE PRIMER COAT AND ONE FINISH COAT (MINIMUM) PLUS TOUCH-UP.
- WOOD PRODUCTS AND FINISHES SHALL MEET FLAME SPREAD AND SMOKE GENERATION REGULATIONS.
- CONSTRUCTION TO BE IN ACCORDANCE WITH FINAL PLANS APPROVED BY THE LANDLORD, LOCAL, STATE AND FEDERAL CODES.
- ALL STRUCTURAL MEMBERS NOT SHOWN ARE TO REMAIN.
- ALL CONDITIONS AND DIMENSIONS ARE TO BE VERIFIED IN THE FIELD.
- ALL NOTES, DIMENSIONS AND FINISHES ARE SUBJECT TO APPROVAL OF TENANT REPRESENTATIVE.
- NO STRUCTURAL CHANGES ARE REQUIRED WITH THESE ALTERATIONS.
- INTERIOR FINISH OF STORE TO HAVE A FLAME SPREAD RATING OF 25 OR LESS.
- POST A "NO SMOKING" SIGN IN WORKROOM.
- LOCATION OF FIRE EXTINGUISHERS AS DIRECTED BY FIRE MARSHALL.
- ALL WOOD AND PLYWOOD TO BE FIRE-TREATED.
- G.C. SHALL COMPLY WITH ALL REQUIREMENTS OF ADA AND/OR LOCAL I.C. CODES TO BE INCLUDED IN BID PRICE. I. I. ALL PUNCH LIST ITEMS WILL BE THE RESPONSIBILITY OF THE G.C. AND ITS REPRESENTATIVE.
- G.C. IS REQUIRED TO VISIT THE SITE PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY OF ANY CONDITIONS WHICH MAY CONFLICT WITH THE PROPOSED DESIGN.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE TENANT'S VENDORS AS REQUIRED TO INCORPORATE TENANT PROVIDED FINISHES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH LANDLORD'S STANDARD CONSTRUCTION CRITERIA.

**GENERAL NOTES**

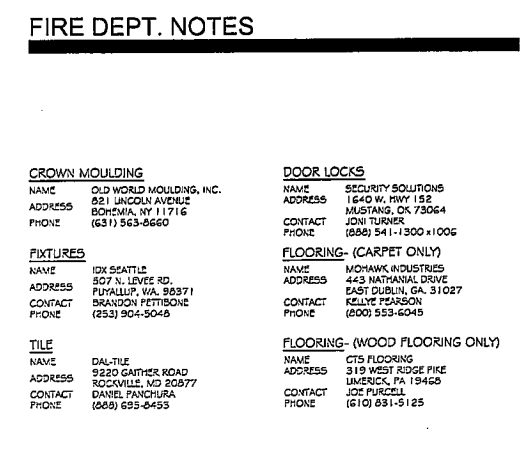
APPLICABLE CODES	
BUILDING	2003 INTERNATIONAL BUILDING CODE
ELECTRICAL	2002 NATIONAL ELECTRICAL CODE
MECHANICAL	2003 INTERNATIONAL MECHANICAL CODE
PLUMBING	2003 INTERNATIONAL PLUMBING CODE
FIRE/IFE SAFETY	2003 INTERNATIONAL FIRE CODE
ACCESSIBILITY	ADA

REQUIREMENTS	
CATEGORY	STATUS/REQUIREMENTS
OCCUPANCY GROUP	M
OCCUPANT LOAD	30 SF PER PERSON @ SALES / 300 SF @ STOCK
CONSTRUCTION TYPE	TYPE II - F.R. FULLY SPRINKLERED
HEIGHT LIMITATION	EXISTING
AREA LIMITATION	EXISTING
EXTERIOR WALLS / BEARING	N/A
FRICKPARTY WALLS	N/A
FIRE SEPARATION ASSEMBLY	N/A
EXIT CORRIDOR	N/A
TENANT SEPARATION	1 HOUR
SPRINKLER SYSTEM	EXISTING
EGRESS WIDTH (DOOR)	32" MIN. CLEAR
EGRESS WIDTH (STAIRWAYS)	44" MIN. CLEAR
MIN. EXIT ACCESS	25'
MIN. AISLE WIDTH	36" x 44" MIN. CLEAR

OCCUPANCY CALCULATIONS			
ROOM NAME	SQ. FOOTAGE	LOAD FACTOR	LOAD SUMMARY
SALES AREA	6,453 S.F.	1.30	6,453 / 30 = 216
TAILOR/PRESS AREA	648 S.F.	1.300	648 / 300 = 3
FITTING AREA	365 S.F.	N/A	0 (ACCESSORY USE)
TOILET ROOM	147 S.F.	N/A	0 (ACCESSORY USE)
DISPLAY	247 S.F.	N/A	0 (ACCESSORY USE)
TOTAL	7,860 S.F.		219 OCCUPANTS

FIRE DEPT. NOTES	
<b>FIRE ALARM:</b>	EXTEND OR MODIFY FIRE ALARM AS NEEDED.
<b>FIRE SPRINKLER SYSTEM:</b>	AN AUTOMATIC FIRE SPRINKLER SYSTEM IS EXISTING WITHIN THIS SPACE. CONTRACTOR SHALL REMOV AND MODIFY THE SYSTEM AS REQUIRED FOR THE NEW SPACE CONFIGURATION AND CEILING HEIGHTS. MODIFICATIONS SHALL BE DESIGNED AND INSTALLED AS REQUIRED FOR THE NEW SPACE CONFIGURATION AND CEILING HEIGHTS. MODIFICATIONS SHALL BE DESIGNED AND INSTALLED BY A QUALIFIED LICENSED FIRE SPRINKLER CONTRACTOR, WHO SHALL PREPARE DESIGN / SHOP DRAWINGS OF THE SYSTEM AND SUBMIT SUCH DRAWINGS TO THE LANDLORD, BUILDING AND FIRE DEPARTMENTS FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH NFPA, STANDARD 101 AND ANY OTHER STATE OR LOCAL CODES HAVING JURISDICTION.
<b>EXIT ILLUMINATION:</b>	EMERGENCY EXIT ILLUMINATION SHALL BE PROVIDED AS SHOWN ON ELECTRICAL DRAWINGS.

TENANT VENDORS	
<b>CROWN MOULDING</b>	OLD WORLD MOULDING, INC. 821 LINCOLN AVENUE BOHemia, NY 11716 PHONE: (631) 563-8660
<b>FIXTURES</b>	12K SEATTLE 507 N. LEVIE RD. FUYALLUP, WA 98971 BRANDON PETHIBONE CONTACT PHONE: (253) 904-5046
<b>TILE</b>	DAL-TILE 9280 GANTHER ROAD ROCKVILLE, MD 208577 DANIEL PANCHURRA CONTACT PHONE: (888) 695-8453
<b>DOOR LOCKS</b>	SECURITY SOLUTIONS 1640 W HWY 152 MUSTANG, OK 73064 CONTACT PHONE: (800) 541-1300 x 1006
<b>FLOORING- (CARPET ONLY)</b>	MOHAWK INDUSTRIES 443 NATIONAL DRIVE EAST DUBLIN, GA 31027 CONTACT PHONE: (800) 553-6045
<b>FLOORING- (WOOD FLOORING ONLY)</b>	CTS FLOORING 319 WEST RIDGE PINE UNERICK, PA 19426 JOE PURCELL CONTACT PHONE: (610) 831-5125



**TENANT VENDORS**

To order plans, go to [www.talrebro.com](http://www.talrebro.com)

# JOS. A. BANK

**STORE MAILING ADDRESS**  
STORE NAME: Jos. A. BANK  
ADDRESS: COLONIAL BROOKWOOD VILLAGE  
780 BROOKWOOD VILLAGE  
BIRMINGHAM, AL 35209

**CLIENT/TENANT**  
NAME: Jos. A. BANK CLOTHIERS, INC.  
ADDRESS: 500 HANOVER PIKE  
HAMPSTEAD, MD 21074  
PROJECT COORDINATOR: BRENDA CHRONISTER (443) 508-4750 (443) 508-4799 (443) 508-4799

**ARCHITECT OF RECORD**  
NAME: DAVID J. LEE, AIA  
ADDRESS: 707 WEST VICKERY BLVD. SUITE 101  
FORT WORTH, TX 76104  
CONTACT PHONE: (817) 736-8093 (817) 736-9524

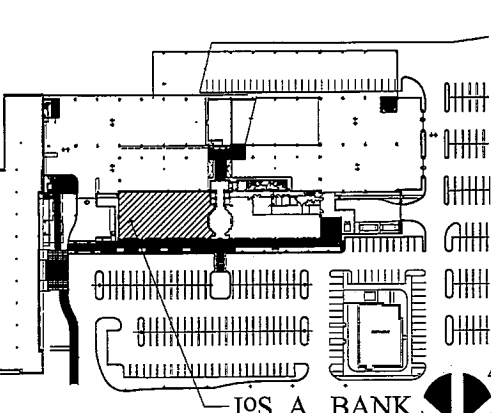
**ARCHITECTURAL PROJECT MANAGER**  
NAME: CARLIE COATS-WORTH ARCHITECTS  
ADDRESS: 2495 CAMPUS DRIVE - 2ND FLOOR  
IRVINE, CA 92612  
CONTACT PHONE: (949) 833-1930 (949) 833-1140

**MECH./PLUMB./ELEC. ENGINEER**  
NAME: SCHWACKEL ENGINEERS, INC.  
ADDRESS: 3035 S. 72nd STREET  
OMAHA, NE 68124  
CONTACT PHONE: (402) 391-7680 (402) 391-7488

**LANDLORD/TENANT COORDINATOR**  
NAME: COLONIAL PROPERTIES  
ADDRESS: 2101 6TH AVENUE NORTH, SUITE 750  
BIRMINGHAM, AL 35202  
CONTACT PHONE: JIM NEELY (205) 250-8747 (205) 250-8890

**BUILDING DEPT.**  
NAME: CITY OF HOMEWOOD  
ADDRESS: BUILDING DEPARTMENT  
2850 19TH STREET SOUTH  
HOMEWOOD, AL 35209  
CONTACT PHONE: JOHN MCPHERSON (205) 332-6500 (205) 332-6955

**CONTACT INFORMATION**



**VICINITY MAP**

ARCHITECTURAL		DATES	
NO.	TITLE SHEET	ISSUED	LAST REV.
A001	GENERAL SPECIFICATIONS	02.23.07	05.25.07
A003	GENERAL SPEC. & SYMBOLS LEGEND	02.23.07	
A101	FLOOR PLAN	02.23.07	05.25.07
A102	FLOOR FINISH PLAN	02.23.07	05.25.07
A201	EXTERIOR ELEVATION	02.23.07	03.22.07
A202	EXTERIOR ELEVATION	02.23.07	05.07.07
A203	STOREFRONT DETAILS	02.23.07	03.22.07
A301	INTERIOR ELEVATIONS	02.23.07	05.07.07
A302	INTERIOR ELEVATIONS	02.23.07	05.25.07
A303	INTERIOR ELEVATIONS & DETAILS	02.23.07	05.25.07
A401	REFLECTED CEILING PLAN	02.23.07	05.25.07
A701	ARCHITECTURAL DETAILS	02.23.07	05.25.07
A702	ARCHITECTURAL DETAILS	02.23.07	05.07.07
A801	DOOR SCHEDULE AND DETAILS	02.23.07	05.25.07
A802	ROOM FINISH SCHEDULE AND DETAILS	02.23.07	05.25.07

PLUMBING		DATES	
NO.	TITLE SHEET	ISSUED	LAST REV.
P101	PLUMBING PLAN	02.23.07	05.07.07
P701	PLUMBING DETAILS AND SPECIFICATIONS	02.23.07	05.07.07

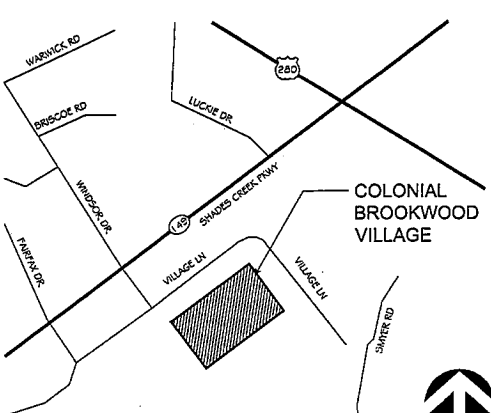
MECHANICAL		DATES	
NO.	TITLE SHEET	ISSUED	LAST REV.
M401	HVAC PLAN	02.23.07	05.25.07
M402	HVAC PIPING PLAN	02.23.07	05.07.07
M701	HVAC SCHEDULES AND DETAILS	02.23.07	05.25.07
M801	HVAC SPECIFICATIONS	02.23.07	05.07.07

ELECTRICAL		DATES	
NO.	TITLE SHEET	ISSUED	LAST REV.
E101	POWER PLAN	02.23.07	05.07.07
E401	LIGHTING PLAN	02.23.07	05.25.07
E701	ELECTRICAL DETAILS	02.23.07	05.25.07
E801	ELECTRICAL SPECIFICATIONS	02.23.07	

FIXTURES		DATES	
NO.	TITLE SHEET	ISSUED	LAST REV.
F101	FIXTURE PLAN	02.23.07	03.22.07
F701	FIXTURE SCHEDULE	02.23.07	
F702	FIXTURING INSTRUCTIONS	02.23.07	
F703	FIXTURING INSTRUCTIONS	02.23.07	
F704	FIXTURING INSTRUCTIONS	02.23.07	

**NOTE:** THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A COPY OF THE BUILDING & SAFETY APPROVED CONSTRUCTION DOCUMENTS AT THE TIME PERMIT IS ISSUED. IN THE EVENT THAT THE DRAWINGS ARE "APPROVED AS NOTED" THE ARCHITECT WILL INCORPORATE COMMENTS INTO A CONSTRUCTION ISSUE SET.

**SHEET INDEX**



**VICINITY MAP**

David Lee, AIA  
PROFESSIONAL ARCHITECT  
ALABAMA LICENSE NO. 4176  
707 W. Vickery Blvd., Suite 101  
Fort Worth, Texas 76104-1102  
PHONE: (817) 736-8093  
FAX: (817) 736-9524

PROJECT: 07002  
DATE: 23 FEBRUARY 2007  
DRAWN BY: AS NOTED  
SCALE: AS NOTED  
FILE: 07002A-001.DWG  
GROSS AREA: 7,860 sf  
SALES AREA: 6,453 sf  
TAILOR/PRESS AREA: 648 sf  
FITTING AREA: 365 sf  
TOILET ROOM: 147 sf

REVISIONS:  
P.C./JAB COMMENTS 19 MARCH 2007  
LANDLORD JAB COMMENTS 22 MARCH 2007  
REVISED COORDINATION WITH SURVEY 7 MAY 2007  
JAB COMMENTS/COORDINATION 25 MAY 2007



500 HANOVER PIKE  
HAMPSTEAD, MD 21074  
PH: 443-308-4750

SHEET TITLE:  
TITLE SHEET

**JOS. A. BANK**  
COLONIAL BROOKWOOD VILLAGE  
780 BROOKWOOD VILLAGE  
BIRMINGHAM, AL 35209

**A-001**