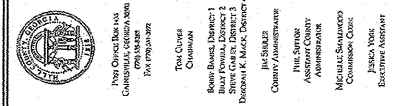


PROJECT INFORMATION

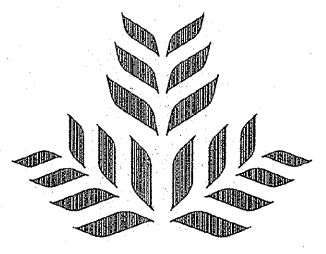
APPLICABLE CODES
SBCCI INTERNATIONAL BUILDING CODE
2000 EDITION W/ 2005 GA AMENDMENTS
NFPA 101, LIFE SAFETY CODE
2000 EDITION W/ 2002 GA AMENDMENTS
SBCCI INTERNATIONAL FIRE PREVENTION CODE
2003 EDITION W/ 2005 GA AMENDMENTS
SBCCI INTERNATIONAL MECHANICAL CODE
2000 EDITION W/ 2005 GA AMENDMENTS
SBCCI INTERNATIONAL FUEL GAS CODE
2000 EDITION W/ 2005 GA AMENDMENTS
SBCCI INTERNATIONAL PLUMBING CODE
2000 EDITION W/ 2005 GA AMENDMENTS
NATIONAL ELECTRIC CODE
2005 EDITION W/ GA AMENDMENTS
RULES & REGULATIONS OF THE SAFETY
FIRE COMMISSIONER, CHAPTER 120-3-3
GEORGIA ACCESSIBILITY CODE
1997 EDITION, CHAPTER 120-3-20
SBCCI INTERNATIONAL ENERGY CODE
2000 EDITION W/ 2005 GA AMENDMENTS
GUIDELINES FOR DESIGN & CONSTRUCTION
OF HOSPITALS AND HEALTHCARE FACILITIES
2005 EDITION



HALL COUNTY GOVERNMENT BOARD OF COMMISSIONERS

February 27, 2007
Northeast Georgia Primary Care, Inc.
200 Spring Street, NE
Gainesville, GA 30601
Dear Sir/Madam:
Please be advised that in its meeting of February 27, 2007, the Hall County Board of Commissioners voted to approve with conditions, the application of Northeast Georgia Primary Care, Inc. to rezone from POD to PDD, and AR-V to PDD, an 8.82+ acre tract located on the south side of Thompsons Hill Road, 160+ ft. west of its intersection with Chateau Glen Drive, a.k.a. 5685, 5701, and 5737 Thompsons Hill Road, Tax Parcel 15059-00051, 15059-00057 (part) and 15059-00058.
Proposed Use: Medical office building, Commission District 1.
The following are conditions of approval:
1. The development of this site shall occur as generally depicted on the concept plan and described in the project narrative, modified as necessary for compliance with development standards in force at the time of site plan approval.
2. Driveway design and placement are subject to approval by the Hall County Engineering Department and the Georgia Department of Transportation.
3. A setback of 5 feet is required for signage.
4. Hours of operation shall be 8:00 a.m. to 8:00 p.m. (or until the last patient is seen) Monday - Friday, and 8:00 a.m. to 5:00 p.m. (or until the last patient is seen) Saturday and Sundays from 12:00 p.m. to 8:00 p.m. (or until the last patient is seen).
5. Any outdoor lighting on the premises shall be of a non-spill type.
6. The volatile parking areas shall be paved with either asphalt or concrete.
7. There shall be a 50 ft. undisturbed buffer established between the proposed development and the property boundaries of the homes in Chateau Glen Neighborhood.
8. All conditions of zoning shall be made a part of any plat created for this property.
If you have questions or require any additional information, you may reach me at 770.535.8288.
Sincerely,

Michelle Simmlow
Commissioner
cc: Emily C. Beavel
P. O. Box One
Gainesville, Georgia 30603
Planning and Zoning
Building Inspections
Public Works
Business License
Tax Commissioner
Trac Assessor



BRASELTON CLINIC ADDITION
Northeast Georgia Medical Center
Gainesville, Georgia - Hall County



CDH PARTNERS INC.
ARCHITECTURE • PLANNING
675 TOWER ROAD
MARIETTA, GEORGIA 30060
770-423-0016 TEL
770-424-0260 FAX
WWW.CDHPARTNERS.COM

GENERAL NOTES

PERMITS AND LICENSE
GENERAL NOTES
UTILITIES
DIMENSIONS
CONTRACT DOCUMENTS
DRAWING KEYNOTE SYSTEM
All subcontractor's should price these drawings in conjunction with the Outline Specifications

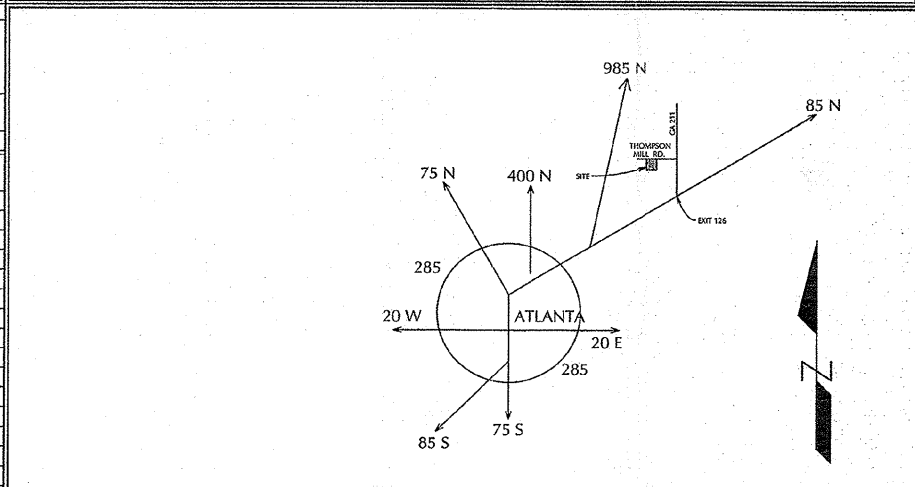
PROJECT TEAM

OWNER
PROJECT OWNER
ARCHITECT
CIVIL ENGINEER
INTERIOR DESIGNER
MECHANICAL/PLUMBING/ELECTRICAL
EQUIPMENT CONSULTANT

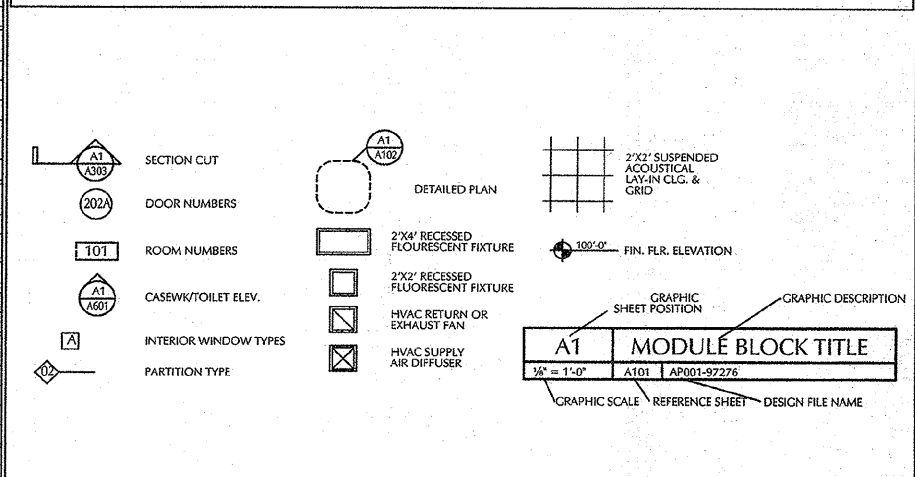
INDEX

Table with columns for Drawing Index, Issue Date, and Index entries (TO01, CIVIL, ARCHITECTURAL, INTERIOR DESIGN, PLUMBING AND FIRE PROTECTION, ELECTRICAL)

LOCATION MAP



SYMBOLS



SET # T101
SHEET TITLE