

ABBREVIATIONS	
ACT	ACoustical CEILING TILE
AF	ABOVE FINISH FLOOR
ASPH	ASPHALT
APM	ARCHITECTURAL PROJECT MANAGER
BLK	BLOCK
BLK'S	BLACK
BSU	BABES 'R' US
BS	BOTH SIDES
CLG	CEILING
CPU	CUSTOMER PICK-UP
CT	CERAMIC TILE
CONC	CONCRETE
CONT	CONTINUOUS
CONTR	CONTRACTOR
CJ	CONSTRUCTION JOINT
CPM	CONSTRUCTION PROJECT MANAGER
DN	DOWN
DN	DRAWER
DWG	DRAWING
EDC	ELECTRICAL DISTRIBUTION CENTER
EP	EACH FACE
EW	ELECTRIC WATER COOLER
EL	ELEVATION
ETR	EXISTING TO REMAIN
ELECT	ELECTRICAL
ELC	ELECTRICAL CONTRACTOR
EXIST	EXISTING
EXP	EXPANSION
EFS	EXTERIOR INSULATING FINISH SYSTEM
EXT	EXTERIOR
FP	FIREPROOF
FN	FINISH(D)
GA	GAUGE
GALV	GALVANIZED
GL	GLASS
GWB	GYP/SUM WALL BOARD
GC	GENERAL CONTRACTOR
HM	HOLLOW METAL
HP	HIGH POINT
HAC	HEATING & A/C CONTRACTOR
HD	HIGH DENSITY
IOC	INSIDE DIMENSION CLEAR
INT	INTERIOR
JT	JOINT
KRU	KIDS 'R' US
LAM	LAMINATE
LAV	LAVATORY
LP	LOW POINT
MAX	MAXIMUM
MTL	METAL
MN	MASONRY
MO	MASONRY OPENING
NOT IN CONTR	NOT IN CONTRACT
NO	NUMBER
OH	ON CENTER
OC	OPPOSITE HAND
OP'NG	OPENING
OSI	OWNER SUPPLIED ITEMS
PLB	PLUMBING CONTRACTOR
PLS LAM	PLASTIC LAMINATE
PL	PLATE
PLYD	PLYWOOD
RAD	RADIUS
REFLOPL	REFLECTED CEILING PLAN
REGRD	REGRADED
RFS	ROOM FINISH SCHEDULE
STL	STEEL
SUSP CLG	SUSPENDED CEILING
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TU	TOYS 'R' US
TYP	TYPICAL
UND	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
W/	WITH
WO	WOOD

**GENERAL NOTES**

A. WORK SHALL BE CONDUCTED AFTER NORMAL STORE HOURS AND STORE MUST BE MADE READY FOR REOPENING DAILY. FIXTURE TEAM WILL REMOVE THE STORE FIXTURES IN PREPARATION FOR INSTALLING VINYL COMPOSITION TILE AND CARPETING WHERE APPLICABLE. WORK SHALL BE PHASED AS DIRECTED BY OWNER'S REPRESENTATIVE. ELECTRICIAN TO DISCONNECT POWER FROM STORE FIXTURES BEFORE FIXTURE RELOCATION AND RECONNECT AFTER ALL VCT AND OR CARPET IS INSTALLED AND FIXTURE IS SET INTO PLACE. THIS PROCEDURE APPLIES TO THE ENTIRE SALES FLOOR. THE CHECKOUT AREA IS AN EXCEPTION. IT NEEDS TO BE POWERED BACK UP DAILY BEFORE STORE OPENING.

B. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS IN ORDER TO ASSESS REQUIREMENTS FOR THIS WORK.

C. COORDINATE ALL DISCREPANCIES WITH THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PERFORM THE AMOUNT OF WORK REQUIRED TO COMPLETE THE TASKS AS INDICATED.

D. REFER TO ALL OTHER DISCIPLINE DRAWINGS FOR ADDITIONAL DEMOLITION WORK. PATCH AND RESTORE CONSTRUCTION AS REQUIRED FOR ALL DISCIPLINE CONSTRUCTION ITEMS. VERIFY AND COORDINATE ALL THE OPENINGS REQUIRED FOR THIS WORK. REFER TO PLANS FOR CUTTING AND PATTERNS. PATCH TO MATCH ADJACENT CONDITIONS IN ALL DISTURBED AREAS.

E. THE CONTRACTOR SHALL OBTAIN ALL PERMITS (W/ EXCEPTION OF SIGN PERMITS WHICH ARE BY OWNER), AND PAY PERMIT FEES. OWNER SHALL REIMBURSE CONTRACTOR FOR BUILDING PERMIT FEE ONLY.

F. THE CONTRACTOR SHALL INSPECT THE PREMISES PRIOR TO SUBMITTING BID, AND IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED. DEMOLITION DRAWINGS ARE SCHEMATIC IN NATURE, AND MAY NOT INDICATE ALL SPECIFIC ITEMS REQUIRING REMOVAL. COORDINATE ALL DEMOLITION WORK WITH NEW RENOVATION WORK INDICATED ON DRAWINGS.

G. FOR WORK DONE DURING NORMAL STORE OPERATING HOURS, THE CONTRACTOR SHALL PROVIDE ALL DUST AND TRAFFIC BARRIERS NECESSARY TO MAINTAIN A CLEAN, SAFE, HEAT & ORDERLY ENVIRONMENT FOR THE GENERAL PUBLIC AND/OR EMPLOYEES.

H. THE CONTRACTOR SHALL REMOVE DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT DAILY. STOCK PILING OF DEBRIS IS NOT ALLOWED. THE CONTRACTOR SHALL EMPLOY A LICENSED WASTE HAULING COMPANY FOR THE DISPOSAL OF DEBRIS. COORDINATE THE LOCATION OF DUMPSTERS WITH THE OWNER'S REPRESENTATIVE.

I. THE CONTRACTOR SHALL COORDINATE SELECT DEMOLITION REQUIRED FOR THE INSTALLATION OF EQUIPMENT, CONTROLS AND/OR UTILITIES WITH THE OTHER DISCIPLINES INDICATED IN THIS WORK. OVER-CUTTING SHALL NOT BE ALLOWED BEYOND THE HOLE SIZE INDICATED FOR NEW OPENINGS IN EXISTING CONCRETE FLOORS, MASONRY WALLS, PARTITIONS, OR ROOF, UNLESS OTHERWISE NOTED BY ARCHITECT OR AUTHORIZED BY OWNER'S REPRESENTATIVE.

J. THE CONTRACTOR SHALL PROVIDE ACCESS THRU STAGED CONSTRUCTION AREAS VIA CODE COMPLIANT BARRIERS. COORDINATE NATURE OF ACCESS AND LOCATION WITH OWNER'S REPRESENTATIVE.

K. THE CONTRACTOR SHALL REPAIR DAMAGE TO ANY EXISTING SURFACES DURING CONSTRUCTION, PROVIDING A CLEAN, SMOOTH APPEARANCE MATCHING ADJACENT CONDITIONS. SCOPE TO BE FINALIZED DURING PRE-BID WALK-THRU.

L. SALVAGE ALL ITEMS AS INDICATED ON DRAWINGS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE FOR REUSE OR RELOCATION.

M. THE CONTRACTOR SHALL CLEAN ALL RELOCATED LIGHT FIXTURES & LAMPS UPON COMPLETION OF CONSTRUCTION.

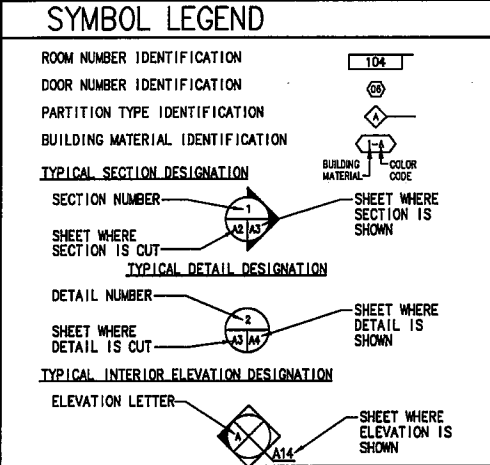
N. THE CONTRACTOR SHALL DEVELOP A STAGING AND PHASING PLAN IN COORDINATION WITH THE OWNER'S REPRESENTATIVE.

O. ALL LIFE-SAFETY SYSTEMS INCLUDING, BUT NOT NECESSARILY LIMITED TO, MEANS OF EGRESS, SPRINKLER SYSTEM, EXIT SIGNS, ALARM SYSTEM SHALL REMAIN OPERATIONAL FOR GENERAL PUBLIC AND EMPLOYEE OCCUPANCY.

P. VERIFY LOCATION AND QUANTITY OF EXISTING FIRE EXTINGUISHERS SO THAT THERE'S A FIRE EXTINGUISHER LOCATED WITHIN 50 FT. WALKING DISTANCE FROM ANYWHERE IN THE BUILDING PER NFPA 10. SUPPLEMENT WITH NEW 2A200 (2M) FIRE EXTINGUISHERS AS NECESSARY OR WHERE DIRECTED BY THE FIRE MARSHAL.

Q. OWNER'S FIXTURE TEAM TO REMOVE OR RELOCATE EXISTING PRE-SALES & SALES FLOOR CONDOLAS.

R. ANY MODIFICATION TO THE SPRINKLER SYSTEMS OF FIRE ALARM SYSTEMS WILL REQUIRE SUBMITTAL OF PLANS TO FIRE PREVENTION DEPARTMENT.



**OWNER SUPPLIED ITEMS - RESPONSIBILITY MATRIX**

THE INTENT OF THIS SECTION IS TO IDENTIFY THE SCOPE OF WORK FOR THE CONTRACTOR AND THE OWNER AND TO PROVIDE INFORMATION REGARDING THE DUTIES AND RESPONSIBILITIES ASSIGNED TO EACH.

THE OWNER INTENDS TO EITHER PROVIDE, FURNISH OR INSTALL ITEMS AS INDICATED. THE OWNER WILL CONTRACT WITH SEPARATE CONTRACTORS AND/OR MATERIAL SUPPLIERS FOR ITEMS AS INDICATED. THE CONTRACTOR WILL COORDINATE THIS WORK AS INDICATED WITH SEPARATE CONTRACTORS AND/OR MATERIAL SUPPLIERS.

REFER TO PROJECT MANUAL FOR ITEMS PURCHASED BY CONTRACTOR THROUGH OWNER'S NATIONAL ACCOUNT PRICING.

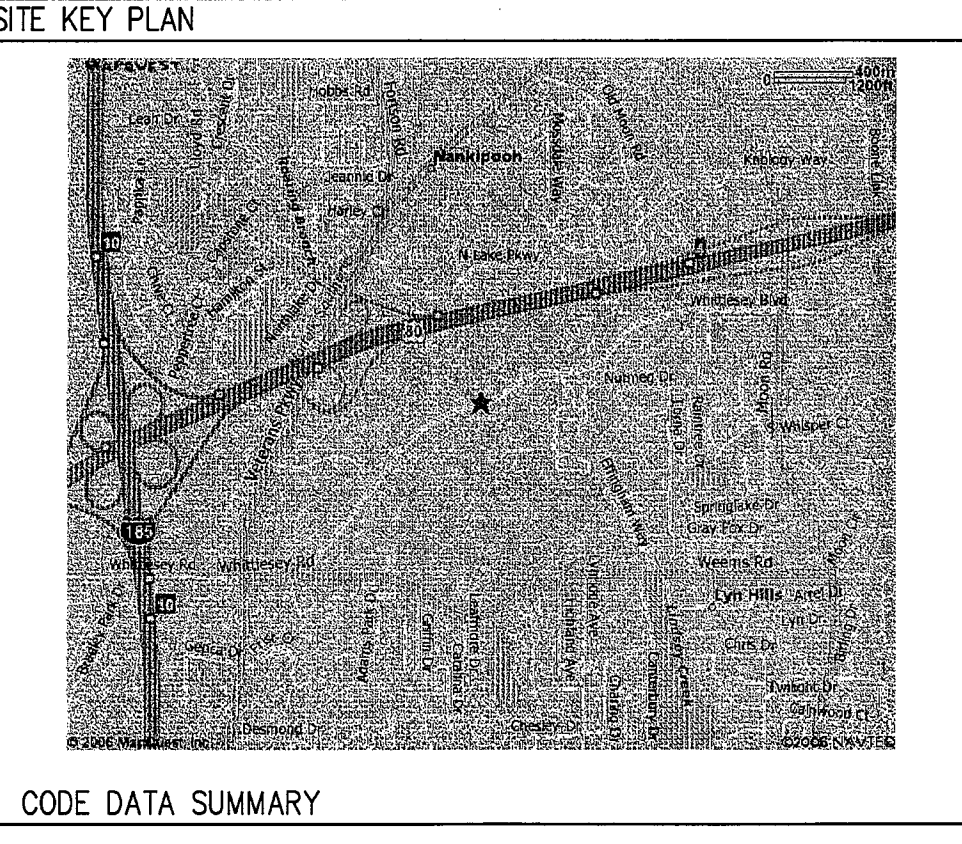
DEFINITIONS: TERMS ARE DEFINED AS FOLLOWS:

1. THE TERM "PROVIDE" (IDENTIFIED BY "P") - TO FURNISH, INSTALL, AND CONNECT COMPLETE.
2. THE TERM "FURNISH" (IDENTIFIED BY "F") - TO SUPPLY (ONLY), INCLUDING COST OF DELIVERY TO CURB SITE, TO ANOTHER PARTY FOR THEIR USE AND INSTALLATION.
3. THE TERM "INSTALL" (IDENTIFIED BY "I") - TO DISTRIBUTE, UNCRATE, ASSEMBLE, AND FIX INTO THE INTENDED FINAL POSITIONS, THE INSTALLER TO PROVIDE ALL MISCELLANEOUS HARDWARE AND SUPPLIES REQUIRED TO ANCHOR AND SUPPORT SECURELY, CLEAN UP, AND DISPOSE OF RUBBISH.
4. THE TERM "UNLOAD" (IDENTIFIED BY "U") - TO RECEIVE, UNLOAD, KEEP AN INVENTORY, STORE AS NECESSARY, AND TO DISTRIBUTE TO A DESIGNATED AREA READY FOR UNPACKING.
5. THE TERM "CONNECT" (IDENTIFIED BY "C") - TO BRING ALL UTILITY SERVICE(S) TO POINT OF INSTALLATION AND MAKE FINAL CONNECTIONS OF THE SERVICE(S) TO THE INSTALLED EQUIPMENT, AND PROVIDE MISCELLANEOUS AUXILIARY APPURTENANCES NECESSARY TO MAKE OPERABLE FOR ITS INTENDED USE.

ITEM (CONTRACTOR TO VERIFY THIS LIST WITH OWNER'S REPRESENTATIVE)	OWNER	CONTRACTOR	NOTES
<b>ARCHITECTURAL</b>			
Reception Tardema	F, I	C	
Guest Service Desk	F, I	C	
Baby Changing Desk	F, I	C	
Special Order Desk	F, I	C	
Interior Sign Graphics	F	I, U	
Carpet (Rola, Square Tile and Vestibule Material & Mastic)	F	I, U	
Vinyl Composite Floor Tile-VCT and Mastic	F	I, U	
Vinyl Base	F	I	
Transition Strip	F	I	
Automatic Sliding Doors	F	I	
Impact Doors	F	I	Doors only-frame to remain (Unless noted on A1.0)
Baby Changing Table and Safe Stiller	F	I	
Store Fixtures	F, J	C	
Paper Towel Dispenser	F	I	
<b>ELECTRICAL</b>			
Lighting Fixtures	F	I, C, U	Exclude exit & emergency light fixtures
Lamps for all down-furnished lighting fixtures	F	I, U	Exclude exit & emergency light fixtures
Lighting track & track heads	F	I, C, U	
Interior Illuminated Signs (3 at back & 2 at front)	F	I, C	
Exterior "Letter" Wall Signs	P		
Exterior pylon sign	P		

**INDEX OF DRAWINGS**

ARCHITECTURAL	DATES		
	ISSUED	LAST ADD/REV.	
A0.1	COVER SHEET	02/12/07	--
C1.0	OVERALL SITE PLAN (FOR INFORMATION ONLY)	02/12/07	--
C1.1	ENLARGED SITE PLAN	02/12/07	--
D1.0	DEMOLITION PLAN	02/12/07	--
A1.0	FLOOR PLAN	02/12/07	--
A1.1	FLOOR FINISH PLAN	02/12/07	--
A1.2	ENLARGED PLANS AND INTERIOR ELEVATIONS	02/12/07	--
A1.3	ENLARGED PLAN & INTERIOR ELEVATIONS	02/12/07	--
A1.4	REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS	02/12/07	--
A2.0	EXTERIOR ELEVATIONS	02/12/07	--
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<b>OWNER LAYOUT PLANS</b>			
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E4.0	ENLARGED WIRING & DETAILS	02/12/07	--
E5.0	PANEL SCHEDULES	02/12/07	--



**CODE DATA SUMMARY**

JOB NAME: TOYS 'R' US #8818  
 LOCATION: 5555 WHITTLESSEY BLVD, SUITE 2300 COLUMBUS, GA 31907

**A. BUILDING CRITERIA:**  
 BUILDING CODE: 2003 INTERNATIONAL BUILDING CODE  
 BUILDING USE: RETAIL SALES  
 OCCUPANCY: GROUP M MERCANTILE  
 CONTACT: DRK BUTTE  
 PHONE: (616) 457-8100

**B. ALLOWABLE AREA:**  
 EXISTING FACILITY WITH NO CHANGE TO USE & NO CHANGE IN SQUARE FOOTAGE.

**C. BUILDING AREA:**

SALES AREA	36,553 SQ. FT.
PRE-SALES, RECEIVING AREA, & ELECTRICAL ROOM	7,891 SQ. FT.
OFFICES AREAS	403 SQ. FT.
TRAINING RM., BREAKROOM, MOTHERS RM.	772 SQ. FT.
TOTAL (INSIDE FACE OF EXTERIOR WALLS)	48,619 SQ. FT.

**D. OCCUPANT LOADING:**

SALES AREA AT 30 SQ. FT./PERSON	1,319
PRE-SALES, RECEIVING, AND ELECTRICAL ROOM AT 300 SQ. FT./PERSON	27
OFFICE AREA AT 100 SQ. FT./PERSON	4
TRAINING RM., BREAKROOM, MOTHERS RM. AT 15 SQ. FT./PERSON	52
TOTAL PEOPLE	1,402

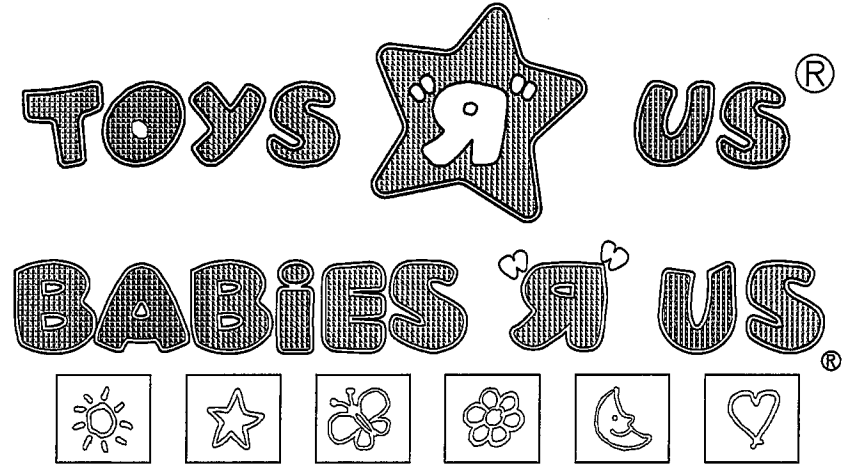
**E. EXITING REQUIRED:**  
 TOTAL OCCUPANT LOAD: 1,402 PERSONS x .15" PER PERSON  
 TOTAL REQUIRED: 210.3"

**F. EXITING PROVIDED:**

DOOR 01 & 02	EGRESS WIDTH 60"
DOOR 03 & 04	60"
DOOR 16	44"
DOOR 17	44"
DOOR 26, 27, & 28	80"
TOTAL EGRESS WIDTH PROVIDED	268" > 210.3"

DOORS #1, 2, 3, 4, 26, 27, & 28 HAVE A BREAKAWAY FEATURE THAT ENABLES THEM TO PROVIDE AN EGRESS WIDTH GREATER THAN THEIR NET SLIDING OPENING THEIR EMERGENCY EGRESS WIDTHS IN THE FULL BREAKAWAY MODE ARE: 129" (DOORS 1, 2, 3, 4) & 129.75" (DOORS 26, 27, & 28).

**G. MISCELLANEOUS**  
 FULLY SPRINKLERED  
 TRAVEL DISTANCE DOES NOT EXCEED 250'



**SIDE BY SIDE REMODEL**

STORE #8818  
 5555 WHITTLESSEY BLVD, SUITE 2300  
 COLUMBUS, GA 31907

**Constr. Doc & Revisions**

No	Date	Description
03/12/07		ISSUED FOR BIDS & PERMITS

**Prototype Updates (FOR REFERENCE ONLY)**

No	Date	Description
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BID DATE: 03/12/07  
 CADD NAME: A01 PROJECT NO.: 00291904  
 DRAWN BY: JMH CHECKED BY: DAB  
 PROTOTYPE: BBL PHOTO 2005

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Location  
**COLUMBUS, GA**  
 5555 WHITTLESSEY BLVD, SUITE 2300

Drawing Title  
**COVER SHEET**

Scale AS NOTED Date 03/12/07

Sheet No. A0.1