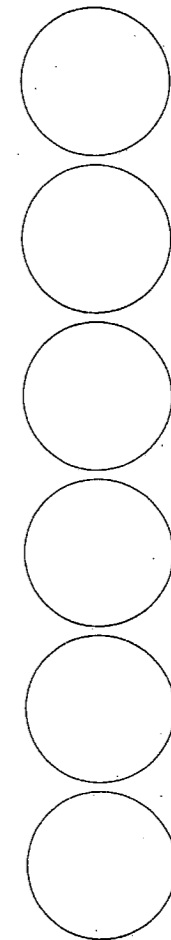


# avalon office building

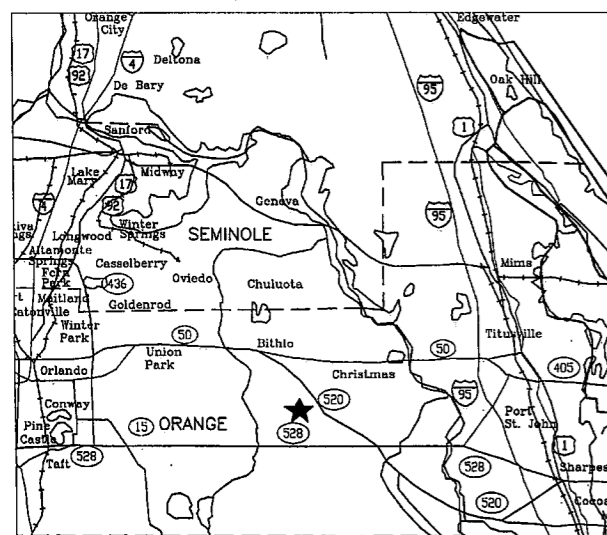
orlando, florida



architecture  
structural engineering  
mechanical engineering  
electrical engineering

SCHENKELSHULTZ Architecture  
Burton Braaswell Middlebrooks Associates  
Matern Professional Engineering  
Matern Professional Engineering

location map



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- 2 of 2 development plan
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- S002 structural general notes
- S003 structural general notes
- 6101 foundation plan
- S102 second floor and third floor framing plan
- S103 roof framing plan
- S001 foundation sections and details
- S301 sections & details
- S302 sections & details
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- E302 third floor plan-systems
- E303 roof plan-systems
- E401 first and second floor plans-lighting
- E402 third floor plan-lighting
- E501 power riser diagram
- E501 panel schedules
- E602 panel schedules
- E901 details

**BID SET**  
 03 13 07 721  
 KEENE CONSTRUCTION CO.

avalon  
office  
building

for  
avalon park  
orlando, florida

DATE: 2.27.07  
 DRAWN BY: 052404  
 REVISIONS:

"Bid Set"

# AVALON PARK PD/TOWN CENTER TRACT 26 A AVALON PARK OFFICE DEVELOPMENT PLAN

PARCEL NO: 06-23-32-0000-00-006

## PLAN SHEET INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
A101	BUILDING ELEVATIONS
A102	SIDE ELEVATIONS
E-1	PHOTOMETRIC PLAN
E-2	PHOTOMETRIC PLAN
LA-1	LANDSCAPE PLAN
IR-1	IRRIGATION PLAN

## SITE DATA

### GENERAL:

CURRENT USE:	VACANT
CURRENT ZONING:	PD
SITE AREA:	1.32 ACRES ±
PROPOSED LAND USE:	OFFICE / RETAIL
TOTAL OFFICE SPACE:	40,000 S.F. GROSS / 30,858 S.F. NET
F.A.R.:	0.70
PHASING:	ONE PHASE
BUILDING COVERAGE:	35%
IMPERVIOUS COVERAGE:	80%
<b>BUILDING SETBACKS</b>	
FRONT:	5' MIN.
SIDE:	0'
CORNER SIDE:	5' MIN.
REAR:	5'
MAXIMUM BUILDING HEIGHT:	60'-0" (3 STORIES)
PROJECTED WATER DEMAND:	4000 G.P.D.
PROJECTED WASTEWATER DEMAND:	4000 G.P.D.

### OPEN SPACE CALCULATIONS:

THE REQUIRED OPEN SPACE IS PROVIDED WITHIN THE AVALON PARK PD

### PARKING CALCULATIONS:

BLOCK F	Number of Parking Spaces	WEEKDAY				WEEKEND			
		DAYTIME		EVENING		DAYTIME		EVENING	
		9 a.m.-5 p.m.	6 p.m.-Midnight	9 a.m.-5 p.m.	6 p.m.-Midnight	9 a.m.-5 p.m.	6 p.m.-Midnight	9 a.m.-5 p.m.	6 p.m.-Midnight
Avalon Office Retail-4,968 sq ft 5/1000 s.f.	25	15	80%	24	95%	25	100%	18	70%
Workpl.-Gen. Bus. 3.3/1000 s.f.									
Retail-4,892 s.f.	17	11	80%	17	95%	17	100%	12	70%
Office-20,796 s.f.	69	69	100%	7	10%	7	10%	4	5%
<b>TOTAL</b>	<b>111</b>	<b>95</b>		<b>48</b>		<b>49</b>		<b>34</b>	
Total Parking Available on Block	106								

Workplaces per the Avalon Park PD Land Use Plan includes General Office and Light Industrial. For the purposes of this analysis, Workplace will be analyzed using 80% general business (retail) and 50% office uses. The parking is based on 3.3 spaces/1000 s.f. per Orange County Standards.

### PARKING PROVIDED:

94 OFF-STREET SPACES (8' x 18' / 8' x 16')  
12 ON-STREET SPACES INCLUDING 2 HANDICAP SPACES  
TOTAL SPACES PROVIDED = 106 SPACES

### SERVICE PROVIDERS

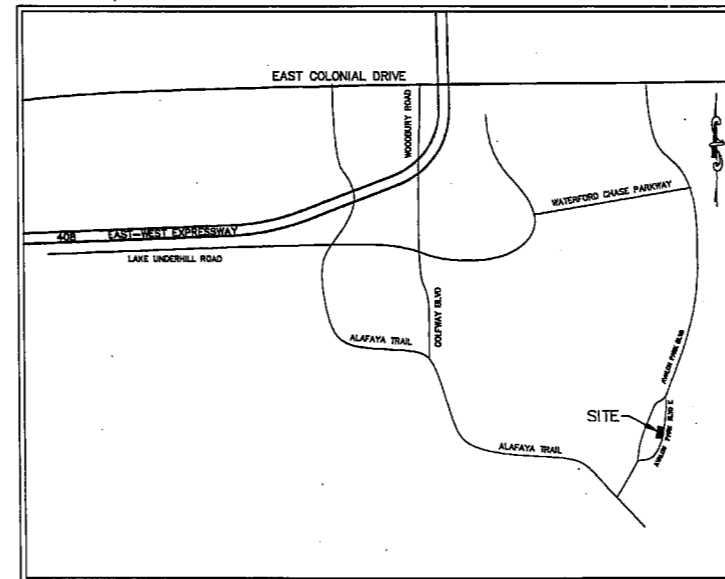
WATER:	ORANGE COUNTY
SEWER:	ORANGE COUNTY
SOLID WASTE:	LOCAL FRANCHISE
STREET LIGHTING:	M.S.T.U.
FIRE:	ORANGE COUNTY FIRE DEPT.
POLICE:	ORANGE COUNTY SHERIFF DEPT.

### PRELIMINARY STORM CALCULATIONS

TRACT 26A IS PART OF BASIN 6 OF AVALON PARK TOWN CENTER. THIS SITE IS SERVED BY AN EXISTING RETENTION POND (POND 6) LOCATED SOUTH OF THE SITE.  
THE PROJECT SITE WAS PERMITTED AS FUTURE DEVELOPMENT FOR 95% IMPERVIOUS.

### NOTES:

- FINISHED FLOOR GRADES MAY VARY MORE THAN ONE FOOT ABOVE EXISTING GRADES.
- THIS PROJECT SHALL COMPLY WITH THE COMMERCIAL DESIGN STANDARDS SET FORTH IN ARTICLE XIII OF CHAPTER 9 OF THE ORANGE COUNTY CODE.
- LIGHTING SHALL COMPLY WITH ARTICLE XI OF CHAPTER 9 OF THE ORANGE COUNTY CODE. ALL ACCORN FIXTURES ON THE PROJECT SHALL DESIGNATE "F" IN THEIR CATALOGUE NUMBER, INDICATING A FULL ALUMINUM TOP COVER ON THE FIXTURE.
- SIGNAGE SHALL COMPLY WITH CHAPTER 91.5 OF THE ORANGE COUNTY CODE. BILLBOARDS AND POLE SIGNS ARE PROHIBITED. THE AVALON DESIGN GUIDELINES SHALL APPLY TO THIS PROJECT.
- TRAFFIC PROJECTION PROVIDED BY ITEC BASED ON ITE TRIP GENERATION, 5TH EDITION.
- BASIN-WIDE REGULATIONS APPLY TO THIS PROJECT. REFERENCE: ECNOLCOCHATOEE RIVER PROTECTION ORDINANCE (CODE CHAPTER 15, ARTICLE 30).



VICINITY MAP  
NOT TO SCALE

## PROJECT DIRECTORY

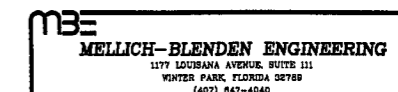
DEVELOPER:	AVALON PARK ASSOCIATES 13001 FOUNDERS SQUARE DRIVE ORLANDO, FLORIDA 32828 TELEPHONE: (407) 658-6565 FAX: (407) 658-6246
CIVIL ENGINEER:	MELICH-BLENDE ENGINEERING, INC. 1177 LOUISIANA AVENUE SUITE 111 WINTER PARK, FLORIDA 32789 TELEPHONE: (407) 647-4040 FAX: (407) 647-4074 E-MAIL: mbecivil@aol.com
SURVEYOR:	GANUNG BELTON ASSOCIATES, INC. 1275 E. ROBINSON STREET ORLANDO, FLORIDA 32801 TELEPHONE: (407) 894-8656 FAX: (407) 894-6391
GEOTECHNICAL ENGINEER:	UNIVERSAL ENGINEERING SCIENCES 3532 MAGGIE BOULEVARD ORLANDO, FL. 32811 TELEPHONE: (407) 423-0504 FAX: (407) 423-3106

## PROPERTY DESCRIPTION

A PORTION OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 32 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

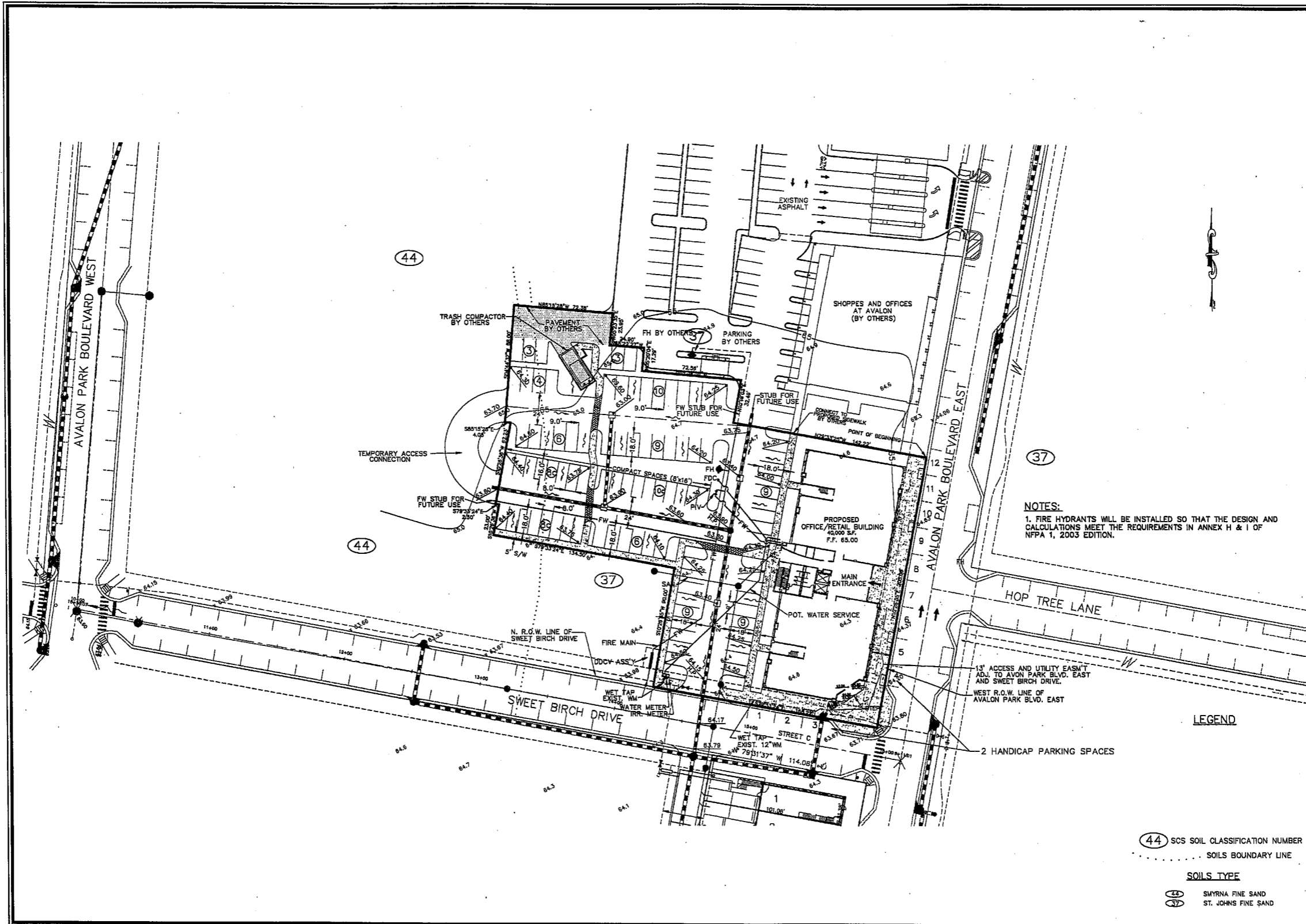
COMMENCE AT THE SOUTHEAST CORNER OF AVALON PARK TOWN CENTER TRACT 32, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 63, PAGE 51, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; SAID CORNER BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF AVALON PARK BOULEVARD EAST, AS RECORDED IN PLAT BOOK 49, PAGES 100 THROUGH 102, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE CONTINUE S 10°26'35"W ALONG THE WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 153.12 FEET TO THE POINT OF BEGINNING; THENCE RUN N 79°33'25" W, A DISTANCE OF 142.22 FEET; THENCE RUN N 10°18'03" E, A DISTANCE OF 32.49 FEET; THENCE RUN N 84°39'56" W, A DISTANCE OF 72.56 FEET; THENCE RUN N 05°20'04" E, A DISTANCE OF 17.29 FEET; THENCE RUN N 85°22'27" W, A DISTANCE OF 24.90 FEET; THENCE RUN N 05°23'35" E, A DISTANCE OF 23.95 FEET; THENCE RUN N 85°15'28" W, A DISTANCE OF 72.38 FEET; THENCE RUN S 04°44'32" W, A DISTANCE OF 88.00 FEET; THENCE RUN S 85°15'28" E, A DISTANCE OF 4.08 FEET; THENCE RUN S 10°26'36" W, A DISTANCE OF 82.23 FEET; THENCE RUN S 79°33'24" E, A DISTANCE OF 2.50 FEET; THENCE RUN S 10°26'36" W, A DISTANCE OF 23.00 FEET; THENCE RUN S 79°33'24" E, A DISTANCE OF 134.50 FEET; THENCE RUN S 10°26'35" W, A DISTANCE OF 90.00 FEET; THENCE RUN S 79°33'24" E, A DISTANCE OF 165.22 FEET; THENCE RUN N 10°26'35" E, A DISTANCE OF 205.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 1.32 ACRES, MORE OR LESS.



JOB No. 06-812

**BID SET**  
031307 721  
KEENE CONSTRUCTION CO.



**NOTES:**  
 1. FIRE HYDRANTS WILL BE INSTALLED SO THAT THE DESIGN AND CALCULATIONS MEET THE REQUIREMENTS IN ANNEX H & I OF NFPA 1, 2003 EDITION.

**LEGEND**

- (44) SCS SOIL CLASSIFICATION NUMBER
- ..... SOILS BOUNDARY LINE
- SOILS TYPE**
- (44) SMYRNA FINE SAND
- (37) ST. JOHNS FINE SAND

<b>MBE</b> MELLICH-BLENDEEN ENGINEERING, INC. <small>11700 AVON PARK, SUITE 200, WILMINGTON, DE 19806          (302) 477-6040          CERTIFICATE OF AUTHORIZATION NUMBER: 6006</small>	
AVALON PARK OFFICE	DEVELOPMENT PLAN
SCALE 1" = 30'	PROJECT NO. 06-812
SHEET 2 OF 2	DRAWN BY: _____ DESIGNED BY: _____ CHECKED BY: _____ DATE: _____
REVISIONS: _____ REVISION DATE: _____ DESCRIPTION: _____	

**BID SET**  
 031307-721  
 KEENE CONSTRUCTION CO.